

ADJOURNMENT

L.

Tuesday, June 3, 2025, 9:00 a.m. Marvin Village Hall, 10006 Marvin School Road

				Pages			
A.	CALL TO ORDER						
В.	CON	SIDER ALLOWING REMOTE PARTICIPATION					
C.	ADO	PTION OF THE AGENDA					
D.	ADO	PTION OF THE PREVIOUS MINUTES		2			
E.	Pleas to the appro recor perse	LIC COMMENT PERIOD se sign-in if you wish to address the PR&G Board, only to be beginning of the meeting will be allowed to speak. Spe bach the podium when called and shall state their name rd. Each speaker has 3 minutes to speak. The Board ma on speak on behalf of large groups expressing the same ment period is limited to 30 minutes.	eakers shall and address for the ay request that one				
	misd meet	rson who interrupts, disturbs, or disrupts an official meet emeanor. A person who interrupts a meeting and is ask ting by the presiding officer and refuses is also guilty of a 3-318.17. Disruptions of official meetings.)	ed to leave the				
F.	UNF	UNFINISHED BUSINESS					
	1.	Discussion of Ideas for a Memorial for Former Mayor Mike Cognac	Councilman Baresich, Christina Traub				
G.	NEW BUSINESS						
	1.	Discussion of Landscape Plan for Village Hall Park	Tyler Huneycutt	9			
	2.	Discussion of Partnership with Local "Let Me Run" Program for Use of Marvin Efird Park Trails	Christina Traub				
Н.	REP	ORTS & UPDATES					
	1.	Event Planning Report					
	2.	Trails & Greenways Report					
	3.	Public Works Report					
	4.	Village Council Report					
I.	REV	IEW OF ACTION ITEMS					
J.	REV	EW OF ONGOING ACTION ITEM LIST		32			
K.	BOA	RD MEMBER COMMENTS					



Parks, Recreation, and Greenways Board

Meeting Minutes

April 1, 2025, 9:00 a.m. Marvin Village Hall, 10006 Marvin School Road

Members Present: Chair Traub, Vice-Chair Culp, Jen Castellucci, Deb Sokol, Michael Vittone

Staff Present:Councilman Baresich (Council Liaison), Austin W. Yow,
Poulami Das, Tyler Huneycutt, Davy Broom

A. <u>CALL TO ORDER</u>

Chair Traub called the meeting to order at 9am and determined a quorum was present.

B. CONSIDER ALLOWING REMOTE PARTICIPATION

No board members participated remotely.

C. ADOPTION OF THE AGENDA

Moved by Vice-Chair Culp

To adopt the agenda as presented.

Vote: Motion Passed Unanimously

D. ADOPTION OF THE PREVIOUS MINUTES

Moved by Chair Traub

To adopt the minutes from 3/4/25 (Regular & Joint with Council) as presented.

Vote: Motion Passed Unanimously

E. <u>PUBLIC COMMENT PERIOD</u>

No one signed up to speak.

F. UNFINISHED BUSINESS

1. Review of 2020 Parks and Greenways Master Plan and Discussion of Questions for Future Community Survey

TIME STAMP 2:45

(See attached Item F1, which is included as a reference in these minutes.)

Mrs. Castellucci led the review of Chapter 6 of the 2020 Parks and Greenways Master Plan, which focused on implementation and funding strategies, as well as project prioritization. The Board then discussed questions for the future community survey, making minor adjustments. Austin Yow, Village Clerk & Assistant to the Manager, noted that he would take the Board's recommended survey questions to the Council for consideration.

Moved by Jen Castellucci

To recommend the list of additional/modified survey questions as amended.

Vote: Motion Passed Unanimously

2. Discussion of Memorial Bench to Honor Mike Cognac at Future Park Location

TIME STAMP 24:50

(See attached Item F2, which is included as a reference in these minutes.)

Tyler Huneycutt, Recreation Manager, noted that the Village Hall Park will begin construction in summer of 2025. He asked the Board for feedback/proposals for a memorial for former Mayor Mike Cognac. The Board noted their preference for a plaque with a longer inscription recognizing Mayor Cognac's contributions. Board members will research memorial options. Councilman Baresich will draft text to be included on a memorial plaque.

3. Discussion of Golf Cart Ordinance

TIME STAMP 37:30

Mr. Huneycutt opened the discussion of the Village's current golf cart ordinance. He asked the Board if they believed amendments to the ordinance was necessary. The Board discussed this topic in depth and directed Mr. Nestor to review the golf cart ordinance for consistency with other Village ordinances.

G. <u>NEW BUSINESS</u>

Nothing was discussed.

H. <u>REPORTS & UPDATES</u>

1. Event Planning Report

TIME STAMP 52:00

Easter Egg Hunt

Mr. Huneycutt reminded the Board that the Easter Egg Hunt is on Saturday, April 12 at Marvin Efird Park and will feature egg hunts for different age groups, as well as a petting zoo and a fun bus.

Marvin Day

He then reminded everyone that Marvin Day is scheduled for Saturday, April 26 from 4-9pm at Marvin Efird Park. He reviewed assigned duties for volunteers and discussed the schedule of events for the day.

5K & Fun Run

Mr. Huneycutt noted that the annual 5K and Fun Run will be held on Saturday, May 31 at 9am at Marvin Elementary. He noted that few volunteers are needed for this event, as the Village contracts with Uwharrie Dash to organize the run.

Marvin's Day Camp at Cane Creek Park

Mr. Huneycutt then informed the Board that he is working with Union County Parks and Recreation to organize 6-8 events at Cane Creek Park for children. He noted that the events will feature paddleboarding, archery, hiking, and more. He further noted registration will be required for the events, as space will be limited.

Scavenger Hunt?

He then informed the Board that he is in the early planning stages for a scavenger hunt to be held in May or June on the Village Trails. He noted that the hunt will feature a prize giveaway.

Habitat Builders Events

Vice-Chair Culp briefly spoke on the scavenger hunt hosted by Habitat Builders and the NC Wildlife Federation. She noted that the event went well, with 25 people attending, including 12 children. She then noted that Habitat Builders has upcoming events for invasive plant removal. She also noted that Habitat Builders will host a Moth Night in Waxhaw in June.

2. Trails & Greenways Report

TIME STAMP 1:12:45

No report was given. The Board briefly asked questions regarding installing trailhead signage on existing trails.

3. Public Works Report

TIME STAMP 1:15:15

Marvin Efird Park Updates

Mr. Broom spoke on multiple maintenance projects at Marvin Efird Park, including invasive plant removal, the installation of a brace to stabilize a unique oak tree limb, and the installation of a flower garden arbor to highlight the entrance of the Marvin Efird Park Pollinator Garden. He then noted that an ADA accessible concrete path at Marvin Efird Park is currently being installed from the front parking lot to the barn/playground area.

Marvin Loop Resurfacing

He then informed the Board that the resurfacing of the Marvin Loop will begin on Monday, April 7 and will take a few weeks to complete. He noted that various sections of the trail will be closed temporarily.

Upcoming Projects

Mr. Broom noted that Public Works will be preparing for the Village's upcoming events, as well as preparing the planting beds at Village Hall and the roundabouts for the coming season.

4. Village Council Report

TIME STAMP 1:24:40

Streetlights

Councilman Baresich explained that Planning Board has inquired about installing additional streetlights along Marvin Road near the intersection with Joe Kerr Road to address safety concerns. The Board expressed concerns about adding additional lighting, noting increased light pollution.

Blue Light Emergency Systems

Councilman Baresich inquired with the PR&G Board about their interest in installing Blue Light Emergency Systems along trails. The Board agreed that further research into these systems was necessary.

I. <u>REVIEW OF ACTION ITEMS</u>

- Mr. Yow will present the PR&G Board's survey recommendations to the Council.
- Councilman Baresich will draft an inscription for a memorial plaque for former Mayor Mike Cognac.
- PR&G Board Members will research memorial options of former Mayor Mike Cognac (plaques, benches, trees, etc.).
- Mr. Nestor will review the Village's Golf Cart Ordinance for inconsistencies.

J. REVIEW OF ONGOING ACTION ITEM LIST

The Board reviewed the Ongoing Action Item List and made revisions.

K. BOARD MEMBER COMMENTS

There were no comments.

L. <u>ADJOURNMENT</u>

Moved by Jen Castellucci

To adjourn the meeting at 10:41am.

Vote: Motion Passed Unanimously

Christina Traub PR&G Board Chair

Austin W. Yow

Village Clerk & Assistant to the Manager



Parks, Recreation, and Greenways Board

Meeting Minutes

May 6, 2025, 9:00 a.m. Marvin Village Hall, 10006 Marvin School Road

Members Absent:

Chair Traub, Vice-Chair Culp, Jen Castellucci, Deb Sokol, Michael Vittone

A. MEETING CANCELATION - POTENTIAL LACK OF QUORUM

The meeting was canceled due to a potential lack of quorum.

Christina Traub PR&G Board Chair

Austin W. Yow

Village Clerk & Assistant to the Manager

STAGE of MAR		VILLAGE OF MARVIN NORTH CAROLINA	
	Parks, Recreation, & Greenways Board Agenda Report		Phone: (704) 843-1680 Fax: (704) 843-1660
Meeting Date: Tuesda		lune 3, 2025	MarvinNC.gov
Title: Discussion of Landscape Plan for Village Hall Park			
Attachments:	Construction Docs	Action Requested:	Give Consensus
Draft Motion: No Motion Requested			
Budgetary Impact: Budgeted Item(s)			

Background:

With recent changes to the Village Hall Park plans, I wanted to put the construction documents in front of PRG so that we could come up with a plan for the landscaping once construction is over.

Current:

The village will be conducting the landscaping portion of the project in house so it is important to gain recommendations from the PRG on what we should be looking for. Types of plantings, where to plant (other than what is designated on the plans already). Memorial pieces, and any other landscaping specifics we would like to see.

DRAWING INDEX

CIVIL

	SHEET NUMBER	SHEET TITLE	ORIGINAL DATE	REVISED DATE
	T0.01	COVER SHEET	11/8/2024	5/29/2025
E	C0.01	GENERAL NOTES (SHEET 1 OF 2)	11/8/2024	5/29/2025
	C0.02	GENERAL NOTES (SHEET 2 OF 2)	11/8/2024	1/28/2025
	C0.03	NCG01 NOTES (SHEET 1 OF 2)	11/8/2024	1/28/2025
	C0.04	NCG01 NOTES (SHEET 2 OF 2)	11/8/2024	1/28/2025
	C1.01	DEMOLITION AND EXISTING CONDITIONS PLAN	11/8/2024	5/29/2025
	C1.02	ESC PH I PLAN	1/28/2025	5/29/2025
_	C2.01	SITE PLAN	11/8/2024	5/29/2025
	C3.01	GRADING PLAN	11/8/2024	5/29/2025
	C3.02	STORM PROFILES	1/28/2025	5/29/2025
	C4.01	ESC PH II PLAN	11/8/2024	5/29/2025
	C6.01	ESC DETAILS (SHEET 1 OF 2)	11/8/2024	5/29/2025
	C6.02	ESC DETAILS (SHEET 2 OF 2)	1/28/2025	5/29/2025
D	C6.03	SITE DETAILS	11/8/2024	5/29/2025
	C6.04	STORMWATER DETAILS (SHEET 1 OF 4)	1/28/2025	5/29/2025
	C6.05	STORMWATER DETAILS (SHEET 2 OF 4)	11/8/2024	1/28/2025
	C6.06	STORMWATER DETAILS (SHEET 3 OF 4)	1/28/2025	
	C6.07	STORMWATER DETAILS (SHEET 4 OF 4)	1/28/2025	5/29/2025
	C7.01	SIGHT DISTANCE PLAN & PROFILE	2/24/2025	5/29/2025
_	L1.01	LANDSCAPING PLAN	11/8/2024	5/29/2025
	L1.02	ENHANCED LANDSCAPE PLANTER DETAILS (ELP-1)	1/28/2025	5/29/2025
	L1.03	LANDSCAPE NOTES AND DETAILS	1/28/2025	5/29/2025

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SITE INFORMATION

SITE LOCATION PARCEL NUMBER: PARCEL AREA: ETJ AREA: TIME FRAME:

ZONING INFORMATION EXISTING ZONING DISTRICT: **OVERLAY DISTRICT:**

PRINCIPAL USES: WATERSHED INFORMATION STREAM WATERSHED:

SCOPE OF WORK:

06225390A 3.48 AC MARVIN FALL '25 – SPRING '26

CIV (CIVIC) HD-CIV-CZ (HERITAGE DISTRICT-CIVIC HERITAGE DISTRICT) ĊIVIC

6-MILE

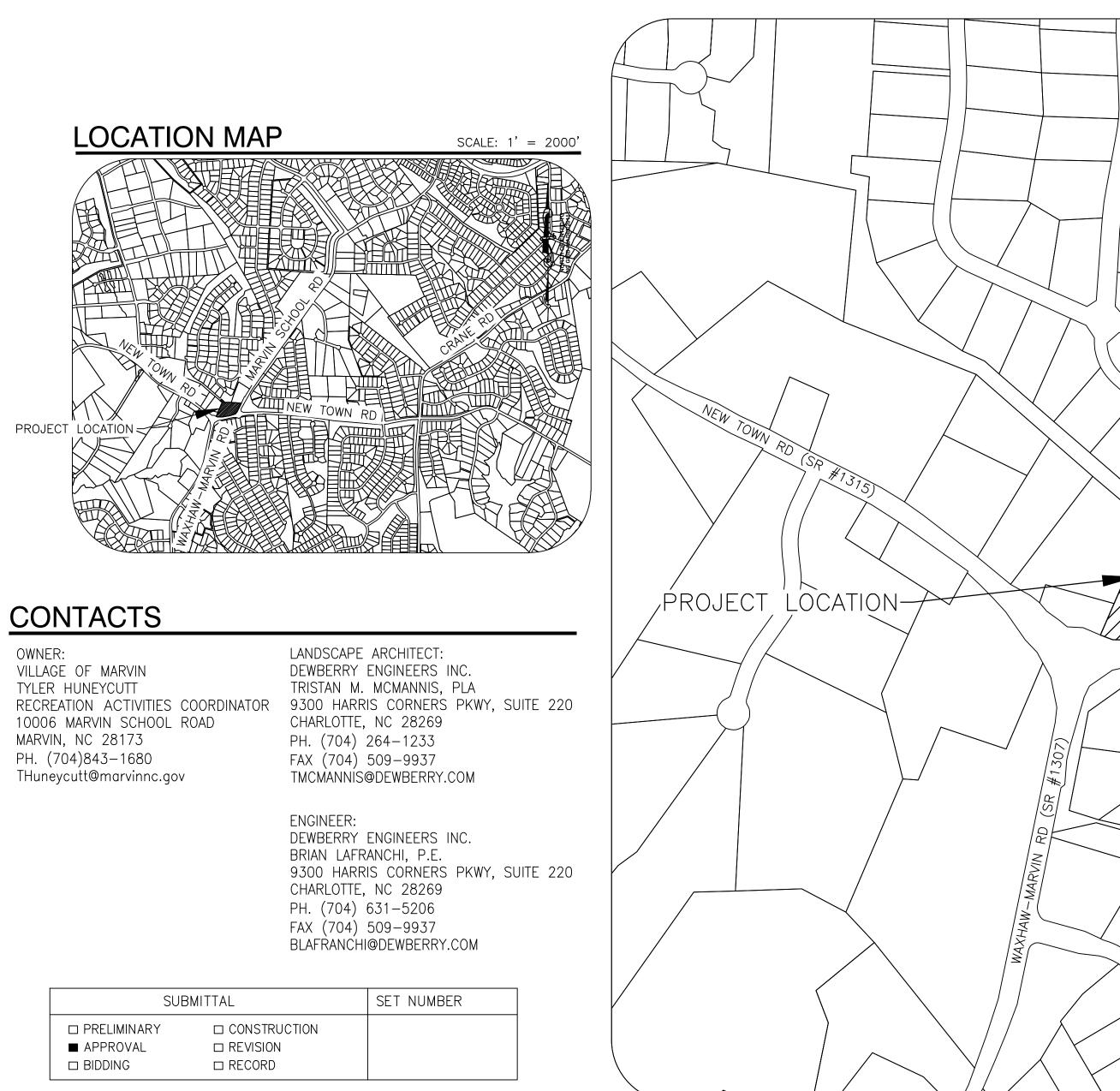
1.3 AC

CONSTRUCTION OF A NEW PARK SITE ADJACENT TO THE EXISTING VILLAGE OF MARVIN TOWN HALL TO INCLUDE A LAWN AREA, A GRADED PAD FOR A FUTURE AMPHITHEATER, 8'-WIDE ASPHALT TRAILS, A 6' WIDE GRAVEL TRAIL CONNECTION, ONE UNDERGROUND RAINWATER CISTERN, TWO ENHANCED LANDSCAPE PLANTING AREAS, SIDEWALK, STORM DRAINAGE, AND LANDSCAPING.

DENUDED LIMITS:

CODE REFERENCES

MARVIN DEVELOPMENT ORDINANCE - 2024 AMERICANS WITH DISABILITIES ACT - ACCESSIBILITY GUIDELINES, 2010 (ADAAG) NCDEQ EROSION AND SEDIMENT CONTROL MANUAL – 2013 NCDOT POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS - 2003 UNION COUNTY PUBLIC WORKS SANITARY SEWER & WATER SPECIFICATIONS VILLAGE OF MARVIN ENGINEERING STANDARDS AND PROCEDURES MANUAL - 2017



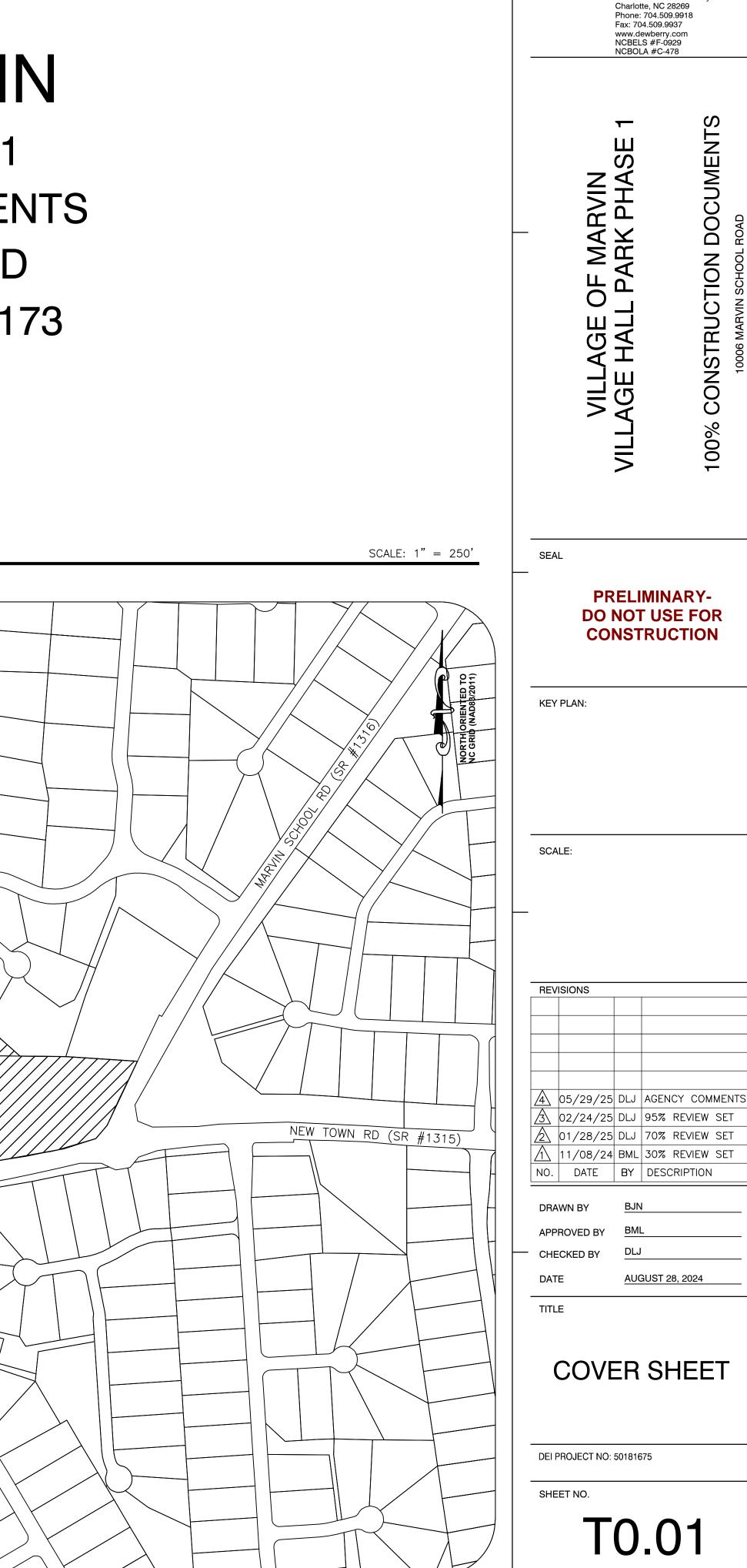
OWNER: VILLAGE OF MARVIN TYLER HUNEYCUTT 10006 MARVIN SCHOOL ROAD MARVIN, NC 28173 PH. (704)843-1680 THuneycutt@marvinnc.gov

VILLAGE OF MARVIN

VILLAGE HALL PARK PHASE 1 100% CONSTRUCTION DOCUMENTS 10006 MARVIN SCHOOL ROAD MARVIN, NORTH CAROLINA 28173

S	UBMITTAL	SET NUMBER
RELIMINARY PPROVAL IDDING	CONSTRUCTION REVISION RECORD	





T0.01

COVER SHEET

, 9300 Harris Corners Pkwy - Suite 220

CUMENTS

ОО

CONSTRUCTION

%00

Dewberry Engineers Inc.

		1 2		
	GE	NERAL NOTES		
Е	1.	BASE DATA FROM UNION COUNTY GIS AND FIELD SURVEY PERFORMED BY DEWBERRY ENGINEERS INC. ON JULY 12, 2024. WETLAND DELINEATION PERFORMED BY DYLAN IRBY WITH DEWBERRY ENGINEERS INC.	25.	ALL SELF
	2.	EXISTING PROPERTY LINE SHOWN ON PLANS BASED ON FIELD LOCATED PROPERTY CORNERS AND NOT BASED ON A CERTIFIED BOUNDARY SURVEY.		DRAINAG EROSION THE TIME
	3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND DESIGNER OF RECORD IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.		OF BASIN DISCHAR THE INSF
	4.	PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE OWNER OR DESIGNER OF RECORD. REPAIRS SHALL BE MADE AT NO COST TO THE VILLAGE/OWNER.		AFTER C
	5.	CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE DESIGNER OF RECORD FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.	PR	OJECT DE
	6.	TREES AND EXISTING LANDSCAPING NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION.		E SCOPE (LL TO INCL
	7.	CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION INCLUDING DAMAGES TO OTHER CONTRACTORS & CONSULTANTS WORK AND SHALL MAKE REPAIRS OR HAVE REPAIRS MADE BY OTHERS AT THEIR EXPENSE.		NNECTION D LANDSC
	8.	CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION ADJUSTMENTS OF ALL EXISTING VAULTS (REGARDLESS OF FUNCTION), METER BOXES, FIRE HYDRANTS, CLEAN OUTS, MANHOLES ETC. TO MATCH FINISHED GRADES AND SITE PLAN. ALL SUCH WORK SHALL BE COORDINATED WITH THE DESIGNER OF RECORD AND OWNER.		JACENT PI
	9. 10.	UTILIZE SIGNS, BARRICADES, ETC. TO ENSURE THE SAFETY OF THE GENERAL PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY DESIGNER OF RECORD AND VILLAGE/OWNER PRIOR TO		ITICAL ARE CRITICAL
	11.	CONSTRUCTION. VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IF DIFFERENCES ARE FOUND, NOTIFY DESIGNER OF RECORD SO THAT	MA	NAGEMEN
	12.	MODIFICATIONS TO THESE DRAWINGS CAN BE MADE. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC	1.	CONSTI PRACTI
	13.	CONTROL DEVICES". ANY LAND DISTURBANCE ACTIVITY >1 ACRE REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO	2. 3.	HARDS THE CC PRACTI
D		DISCHARGE STORMWATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT No NCG010000). ANY PERMIT NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY. (FOR QUESTIONS CONTACT MOORESVILLE REGIONAL OFFICE WATER QUALITY STAFF AT 704-235-2100.	4. ER	AFTER REMOV
	14.	SPOT ELEVATIONS SHOWN ON THE PLANS ARE LOCATED AT THE BACK OF CURB UNLESS OTHERWISE SPECIFIED ON THE PLANS.	TH	E INTENT (
	15.	ALL SUBSURFACE DRAINAGE PIPE SHALL BE REINFORCED CONCRETE (RCP) PIPE, AS APPROVED BY THE VILLAGE OF MARVIN. PIPES IN R/W MUST BE RCP.		CEPTABLE SULTING S
	16.	EXISTING TREES ON THIS SITE ARE RECOGNIZED AS A NATURAL MARKETING ASSET; THEREFORE, THE VILLAGE WILL ENDEAVOR TO RETAIN EXISTING TREES WHERE POSSIBLE THROUGHOUT THE SITE, ESPECIALLY IN THE OUTER BOUNDARY PERIMETER AREAS WHERE THE SITE ADJOINS OTHER PROPERTIES.	ER	OSION ANI
	17.	CONTRACTOR TO COORDINATE PLANTING LOCATIONS WITH THE VILLAGE OF MARVIN PRIOR TO PLACEMENT.		GENERAL, SURE THE
		OSION AND SEDIMENT CONTROL NOTES IF THE SAME PERSON CONDUCTS THE LAND-DISTURBING ACTIVITY & ANY RELATED BORROW OR WASTE ACTIVITY, THE RELATED	1.	INLET P DEPTH
		BORROW OR WASTE ACTIVITY SHALL CONSTITUTE PART OF THE LAND-DISTURBING ACTIVITY UNLESS THE BORROW OR WASTE ACTIVITY IS REGULATED UNDER THE MINING ACT OF 1971, OR IS A LANDFILL REGULATED BY THE DIVISION OF WASTE MANAGEMENT.	2.	SILT FE
		IF THE LAND-DISTURBING ACTIVITY AND ANY RELATED BORROW OR WASTE ACTIVITY ARE NOT CONDUCTED BY THE SAME PERSON, THEY SHALL BE CONSIDERED SEPARATE LAND-DISTURBING ACTIVITIES AND MUST BE PERMITTED EITHER THROUGH THE SEDIMENTATION POLLUTION CONTROL ACT AS A ONE-USE BORROW SITE OR THROUGH THE MINING ACT.		STANDA DETAILS
	2.	ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.		
	3.	ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF STATE LAW AND IS SUBJECT TO A FINE.	<u>PH</u>	<u>ASE 1:</u> OBTAIN
		GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NCDEQ EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.	2.	SET UP
С	5.	ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL	3.	INSTALI MEASU
C		(3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON	4.	INSTALI CLEAN DOWNS
	7	AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE EROSION CONTROL INSPECTOR.		OPENIN
		DEWATERING TO BE AUTHORIZED BY THE EROSION CONTROL INSPECTOR AS RELATED TO SITE CONDITIONS. CONTRACTOR SHALL	5.	CALL FO
		OBTAIN EROSION CONTROL INSPECTOR AUTHORIZATION PRIOR TO DEWATERING ACTIVITIES. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT	6.	
	1	PRE-CONSTRUCTION MEETING.	-	SEDIME
		ALL EMBANKMENTS MUST BE CONSTRUCTED PER EMBANKMENT CONSTRUCTION NOTES PROVIDED ON SHEET C0.02.	7. PH	BEGIN (ASE 2:
		SITE PREPARATION SHALL BE AS DIRECTED IN REPORT TITLED "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES: VILLAGE HALL PARK - PHASE 1 MARVIN, NORTH CAROLINA" BY FROEHLING & ROBERSTON, INC. DATED SEPTEMBER 20, 2024. SLOPES GREATER THAN 10 VERTICAL FEET REQUIRE ADEQUATE TERRACING. SOILS ENGINEER TO VERIFY STABILITY OF SLOPES GREATER THAN 3:1.	1. 2.	COMME VERIFY
	1	SOIL COMPACTION TESTS ARE REQUIRED ON ANY BERM >= 5' IN HEIGHT FROM THE NATURAL GRADE. SOIL COMPACTION MUST BE AT 95% PROCTOR PER ASTM D-1557 AND CERTIFIED BY A LICENSED SOIL ENGINEER.		FROM L
	13.	ALL LAND-DISTURBING ACTIVITIES, INCLUDING THOSE THAT DISTURB LESS THAN AN ACRE, SHALL PROVIDE ADEQUATE EROSION CONTROL MEASURES, STRUCTURES, OR DEVICES IN ACCORDANCE WITH THE NCDEQ EROSION AND SEDIMENT CONTROL PLANNING	3. 4.	INSTALI INSTALI INSPEC
В		AND DESIGN MANUAL. SURFACE WATER DRAW DOWN DEVICES (RISERS OR SKIMMERS) SHALL BE INSTALLED IN ALL SEDIMENT BASIN. ROCK COFFER FOREBAYS SHALL BE USED IN CONJUNCTION WITH ALL SEDIMENT BASINS. THE BASIN SHALL ALSO HAVE A VOLUME TWENTY-FIVE	5.	DRAINA COMME
		(25) PERCENT GREATER THAN THE 1,800 CUBIC FEET PER DRAINAGE ACRE, WHEN POSSIBLE. POLYACRYLAMIDES (PAM) SHALL BE USED TO REDUCE TURBIDITY AND SUSPENDED SOLIDS WHENEVER A SEDIMENT TRAP, BASIN, PIT, HOLE, OR BULDING FOUNDATION IS BEING PUMPED OUT TO REMOVE SEDIMENT LADEN WATER. PAM IS NOT REQUIRED WHEN	6. 7.	COMME STABILI INTO EN
		ANY OF THE ABOVE IS BEING PUMPED TO AN APPROVED SEDIMENT BASIN ON SITE. THIS ACTIVITY MUST BE INSPECTED AND APPROVED BY THE NCDEQ EROSION CONTROL INSPECTOR. CONTRACTOR SHALL APPLY PAM AS DIRECTED BY MANUFACTURER. POLYACRYLAMIDES MAY BE REQUIRED ON SITE, AS DETERMINED BY THE NCDEQ EROSION CONTROL INSPECTOR OR THEIR	8.	ACCUM
		REPRESENTATIVE.	GE	NERAL D
		DOUBLE ROW OF HIGH HAZARD SILT FENCE WITH WIRE BACKING AND STONE SHALL BE USED ALONG WETLANDS, STREAMS, LAKES OR OTHER SURFACE WATER BODIES AS WELL AS ADJACENT TO ALL S.W.I.M. OR OTHER WATER QUALITY BUFFERS. SINGLE ROW OF SILT FENCE WITH WIRE BACKING AND WASHED STONE MAY BE REQUIRED ON ALL OTHER AREAS, AS DETERMINED NECESSARY BY THE TOWN ENGINEER OR FIELD INSPECTOR.	1.	SAW CU SHALL O ACCEPT DOCUME
	1	THE AMOUNT OF UNCOVERED AREA AT ANY ONE TIME SHALL BE LIMITED TO NO MORE THAN 20 ACRES, UNLESS APPROVED BY NCDEQ.	2.	REMOVE
		A 10-FOOT UNDISTURBED BUFFER SHALL BE PROVIDED AROUND THE OUTSIDE EDGE OF DRAINAGE FEATURES SUCH AS	3.	ALL PRIN
		INTERMITTENT AND PERENNIAL STREAMS, PONDS, AND WETLANDS. INCIDENTAL DRAINAGE IMPROVEMENTS OR REPAIRS WILL BE PERMITTED WITHIN THE BUFFER AS APPROVED BY VILLAGE STAFF.	4.	THE CON DURING
•		A GROUND COVER SUFFICIENT TO RESTRAIN ACCELERATED EROSION MUST BE PROVIDED WITHIN 7 CALENDAR DAYS OF THE DATE OF LAST LAND-DISTURBING ACTIVITY ON ANY PORTION OF THE PROJECT.	5.	CONTRA DURING
A	21.	APPLY EROSION CONTROL MATTING TO DIVERSION DITCHES AND INTERIOR BASIN SLOPES AS SHOWN ON THE PLANS.	6.	CONTRA
		ALL BASIN SPILLWAYS SHALL BE SIZED TO PASS THE 50-YR STORM EVENT.	7	CONSTR CONTRA
	_	FILL SLOPE STEEPNESS SHALL BE LIMITED TO 3:1. SLOPES STEEPER THAN 3:1 MUST BE TERRACED OR OTHERWISE PROVIDE AN APPROVED ENGINEERED SOLUTION. SLOPES 3:1 OR FLATTER MUST BE DESIGNED AS SET FORTH IN THE NC SOIL EROSION & SEDIMENT PLANNING & DESIGN MANUAL, STANDARD 6.02A.	7.	CONSTR
		ALL PLANS WILL CARRY A "PERFORMANCE RESERVATION".	8. 9.	CONTRA
			•••	INDICATI
			10.	CONTRA SUCH M/

-INSPECTION LOG BOOK ENTRIES WILL BE ELECTRONICALLY SENT TO THE AREA INSPECTOR, WITHIN 2 IG DAYS OF A QUALIFYING RAIN EVENT OR WEEKLY (WHICHEVER IS SHORTER). FOR EROSION CONTROL BASINS WITH A GE AREA GREATER THAN 10 ACRES, TURBIDITY MEASUREMENTS MAY BE REQUIRED AT THE DISCRETION OF THE NCDEQ I CONTROL INSPECTOR TO MEASURE CLARITY OF BASIN EFFLUENT AND ANY POTENTIAL IMPACT TO RECEIVING WATERS AT E OF RAINFALL-TRIGGERED INSPECTIONS. READINGS MUST BE COLLECTED AT THE BASIN OUTFALL (TO MEASURE CLARITY N EFFLUENT), UPSTREAM OF THE DISCHARGE POINT (TO MEASURE BASELINE CONDITIONS) AND DOWNSTREAM OF THE RGE POINT (TO MEASURE STREAM IMPACTS OF THE BASIN EFFLUENT) WHEN POSSIBLE. THE RESULTS MUST BE LOGGED IN PECTION REPORTS.

CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES.

ND SEDIMENT CONTROL NARRATIVE

SCRIPTION

OF THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW PARK SITE ADJACENT TO THE EXISTING VILLAGE OF MARVIN TOWN LUDE A LAWN AREA, A GRADED PAD FOR A FUTURE AMPHITHEATER, 8'-WIDE ASPHALT TRAILS, A 6' WIDE GRAVEL TRAIL I. ONE UNDERGROUND RAINWATER CISTERN, TWO ENHANCED LANDSCAPE PLANTING AREAS, SIDEWALK, STORM DRAINAGE. CAPING. THE DENUDED LIMITS FOR THE PROJECT ARE APPROXIMATELY 1.3 AC.

ROPERTY

APPEAR ADJACENT PROPERTIES SHALL BE AFFECTED BY THE PERFORMANCE OF WORK ASSOCIATED WITH THIS PROJECT.

REAS

AREAS ARE WITHIN THE PROJECT LIMITS.

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NT STRATEGIES

FRUCTION SHALL BE SEQUENCED SO THAT DISTURBANCE, CONSTRUCTION, AND STABILIZATION CAN BE ACHIEVED AS SOON AS ICABLE. SCAPE INSTALLATION SHALL BEGIN IMMEDIATELY FOLLOWING RETURN TO EXISTING SUBGRADE.

INTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL ICES. ACHIEVING ADEQUATE STABILIZATION, THE TEMPORARY EROSION & SEDIMENT CONTROLS SHALL BE CLEANED UP AND VED IMMEDIATELY.

ID SEDIMENT CONTROL MEASURES

OF THE EROSION AND SEDIMENT CONTROLS SHOWN ON THESE DRAWINGS IS TO GUIDE THE CONTRACTOR IN IMPLEMENTING MEASURES, INFRASTRUCTURE, AND MAINTENANCE PROGRAMS THAT WILL MINIMIZE THE AMOUNT OF EROSION AND SEDIMENT THAT WILL TAKE PLACE DURING THE CONSTRUCTION OF THIS PROJECT.

ID SEDIMENT CONTROL MAINTENANCE

, ALL THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH 🗄 RAINFALL TO EY ARE IN WORKING ORDER. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

PROTECTION: SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE DESIGN OF THE TRAP.

ENCE SHALL BE MAINTAINED BY CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT TO FUNCTION PER THE DARD DETAILS. WHEN/WHERE NECESSARY CONTRACTOR SHALL REPLACE/REPAIR DAMAGED SILT FENCE PER STANDARD

CTION SEQUENCE

ALL NECESSARY PERMITS FROM GOVERNMENT AGENCIES.

AN ON-SITE PRE-CONSTRUCTION CONFERENCE WITH THE EROSION CONTROL INSPECTOR.

CONSTRUCTION ENTRANCE, CONCRETE WASHOUT, SILT FENCE, TREE PROTECTION FENCE, SKIMMER BASIN, AND OTHER RES AS SHOWN ON PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.

PERMANENT STORM DRAIN BYPASS PIPING FOR CLEAN WATER BYPASS. UPSTREAM END OF STORM DRAINAGE FOR WATER BYPASS SHALL CONNECT TO EXISTING NCDOT 24" CMP CULVERT IMMEDIATELY UPSTREAM OF STRUCTURE A9-FD. TREAM END OF STORM DRAIANGE SHALL CONENCT TO EXISTING DROP INLET IMMEDIATELY DOWNSTREAM OF A3-JB. NG FOR 8" PVC PIPE ON STRUCTURE A9-FD SHALL REMAIN PLUGGED DURING CONSTRUCTION UNTIL SKIMMER BASIN SB-B IS ERTED INTO AN ENHANCED LANDSCAPE PLANTER.

FOR ON-SITE INSPECTION BY INSPECTOR. ONCE THE INSPECTOR REVIEWS ALL MEASURES IN THE FIELD, INCLUDING NENT STORM DRAIN BYPASS PIPING, AND DEEMS THEM ACCEPTABLE, A GRADING PERMIT WILL BE ISSUED.

ROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND ENT CONTROL PLANNING AND DESIGN MANUAL AND U.S. DEPARTMENT OF AGRICULTURE STANDARDS.

I CLEARING, GRUBBING, AND DEMOLITION OPERATIONS.

ENCE WITH ROUGH GRADING OF THE SITE

SILT FENCE AND OTHER MEASURES INSTALLED DURING PHASE 1 ARE STILL PROVIDING PROTECTION TO KEEP SEDIMENT LEAVING THE SITE. ADJUST MEASURES AS NECESSARY TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.

ADDITIONAL RUNOFF PREVENTION MEASURES SHOWN ON PLANS.

PERMANENT STORM PIPES, STRUCTURES, AND UTILITIES AS SHOWN ON PLANS. CONTRACTOR SHALL CALL FOR ON-SITE CTION BY INSPECTOR. INSPECTOR SHALL VERIFY INSTALLATION OF STORM PIPES AND STRUCTURES AND THAT SITE AGE PATTERNS MATCH CONDITIONS SHOWN ON THE PHASE 2 ESC PLAN.

ENCE FINE GRADING OF THE SITE.

ENCE PAVING, INSTALLATION OF SIDEWALKS AND TRAILS, AND BRING ALL GRADES TO FINAL GRADES AS SHOWN ON PLANS.

LIZE ALL DENUDED AREAS. ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL CONVERT THE SEDIMENT BASINS NHANCED LANDSCAPE PLANTERS AS SHOW ON THE PLANS. CONTRACTOR SHALL CLEAN OUT SEDIMENT THAT HAS

MULATED IN THE BASINS DURING EROSION CONTROL PHASES.

CONSTRUCTION IS COMPLETE, COORDINATE WITH EROSION CONTROL INSPECTOR FOR FINAL SITE INSPECTION.

DEMOLITION NOTES

JT AND REMOVE ALL ASPHALT AND CONCRETE TO LIMITS REQUIRED FOR PROPOSED WORK. SAW CUTS FOR CONCRETE OCCUR AT THE NEAREST CONTROL JOINT OR EXPANSION JOINT. SAW CUTS BETWEEN CONTROL JOINTS ARE NOT TABLE. ALL DECORATIVE SCORING PATTERNS SHALL BE REPLACED TO THE OWNER'S SATISFACTION. CONTRACTOR SHALL ENT AND PHOTOGRAPH ALL DECORATIVE SCORING PATTERNS PRIOR TO DEMOLITION.

VEGETATION, GRASS, & ROOTMAT IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.

MARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS SHALL BE PROPERLY PRESERVED AND PROTECTED.

INTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY UNFORESEEN OR ADVERSE CONDITIONS DISCOVERED DEMOLITION OPERATIONS.

ACTOR SHALL PROTECT EXISTING PLANT MATERIAL NOT DESIGNATED FOR REMOVAL OR RELOCATION FROM DAMAGE GONSTRUCTION.

ACTOR SHALL KEEP ALL SURROUNDING PUBLIC ROADWAYS AND DRAINAGE SYSTEMS FREE FROM DIRT, MUD, AND RUCTION DEBRIS AT ALL TIMES.

ACTOR SHALL REMOVE ASPHALT PAVEMENT, CONCRETE AND MISCELLANEOUS ITEMS AS NECESSARY TO FACILITATE RUCTION IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

ACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY ITEMS DAMAGED DURING THE CONSTRUCTION.

ACTOR SHALL REMOVE ALL FOUNDATIONS, FOOTING, AND SLABS WITHIN THE PROJECT LIMITS TO FULL DEPTH OR AS ED ON THESE PLANS.

ACTOR SHALL LEGALLY DISPOSE OF ALL DEBRIS AND CONSTRUCTION WASTE AT A LANDFILL LEGALLY ABLE TO ACCEPT IATERIAL IN THE STATE OF NORTH CAROLINA.

GRADING NOTES

1.	ALL STORM STRUCTURES SHALL MEET CURRENOTED.
2.	ALL STORM INLETS LABELED "CB" SHALL BE G
3.	ALL STORM STRUCTURES LABELED "JB" SHALL
4.	ALL STORM STRUCTURES LABELED "DI" SHALL
5.	THE MINIMUM COVER FOR CLASS III RCP SHAL
6.	ALL INCOMING PIPES SHALL BE CUT FLUSH WI PROVIDE POSITIVE DISCHARGE THROUGH THE
7.	ALL STORM DRAINAGE STRUCTURES GREATER
8.	RIM ELEVATIONS FOR CATCH BASINS ARE AT T AND MANHOLES ARE AT THE CENTER OF THE
9.	ALL SPOT ELEVATIONS SHOWN ARE TOP BACK
10.	ALL SIDEWALKS AND PAVED AREAS FOR PEDE SHALL HAVE A CROSS SLOPE OF 1.5% PREFER THESE DRAWINGS INDICATE A RAMP CONDITIO GREATER THAT 2% IN ANY DIRECTION.
11.	WHERE ADJACENT PLACEMENT SLOPES AWAY
12.	IN ORDER TO ENSURE PROPER DRAINAGE, CU SHADED CURB & GUTTER INDICATES LOCATIO
12	

13. CONTRACTOR IS RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN WHERE SPILL CURB IS CALLED OUT.

- 14. NO STORM PIPE SHALL BE INSTALLED WITHIN THE S.W.I.M. BUFFERS.
- PREPARED BY FROEHLING & ROBERTSON, INC. DATED SEPTEMBER 20, 2024.
- 16 WITH ASTM D4318. SIZE RESTRICTIONS ARE AS FOLLOWS:
- 16.1. GEOTECHNICAL ENGINEER.
- THE OWNER'S GEOTECHNICAL ENGINEER AND REPLACED WITH SUITABLE MATERIAL.
- UNIFORM MANNER. THE TOPS OF CUT SLOPES SHALL BE FLATTENED AND ROUNDED.
- SIDEWALKS AFFECTED BY THE EXCAVATION.
- HOWEVER, MAY BE THAWED OUT AND USED AT A LATER DATE.
- GEOTECHNICAL ENGINEER, UNSUITABLE FOR THE PLACEMENT THEREOF.
- 24. INSURE UNIFORM DENSITY AND MOISTURE FOR PROPER COMPACTION.

- BE REMOVED BY THE CONTRACTOR PRIOR TO BACKFILLING.
- WITH RE-TESTING DUE TO FAILED ACCEPTANCE TEST.
- REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER.
- DURING THE OPERATION, THEN UNDERCUTTING SHOULD BE PERFORMED.

ENT NCDOT STANDARDS APPROVED FOR USE IN THE VILLAGE OF MARVIN UNLESS OTHERWISE

GRATE TYPE INLETS (NCDOT 840.02).

L BE JUNCTION BOXES (NCDOT 840.52).

. BE GRATE DROP TYPE INLET (NCDOT 840.14 & 840.17 IF PIPE GREATER THAN 30" DIA.).

ALL BE 2'. WHERE 2' OF COVER CANNOT BE PROVIDED THE PIPE SHALL BE CLASS IV.

ITH THE INSIDE OF STORM STRUCTURES AND THE INVERTS GROUTED AND TROWELED TO HE STRUCTURE.

ER THAN 42" DEPTH SHALL HAVE STEPS CAST INTO THEM.

T THE CENTER OF THE GRATE AT THE EDGE OF PAVEMENT. RIM ELEVATIONS FOR DROP INLETS E LID OR GRATE.

CK OF CURB (BC) UNLESS OTHERWISE NOTED.

ESTRIAN TRAFFIC SHALL BE GRADED IN ACCORDANCE WITH THE 2010 ADA GUIDELINES AND RRED, 2% MAXIMUM. THE LONGITUDINAL SLOPE OF WALKS SHALL NOT EXCEED 5% UNLESS ION. ANY LANDINGS, AND LOADING AREA ADJACENT TO BUS STOP SHALL NOT HAVE A SLOPE

AY FROM THE PROPOSED CURB & GUTTER THE CONTRACTOR SHALL PROVIDE SPILL CURB.

JRB SHALL HAVE A MINIMUM OF 0.5% SLOPE, UNLESS SPILL CURB IS INDICATED ON THE PLANS. ON FOR SPILL CURBS.

15. GENERALLY, SOIL MATERIALS FOR CONSTRUCTION SHALL BE AS RECOMMENDED IN THE GEOTECHNICAL REPORT TITLED "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING SERVICES: VILLAGE HALL PARK - PHASE 1 MARVIN, NORTH CAROLINA"

FILL AND BACKFILL MATERIAL SHALL CONSIST OF SOIL, GRANULAR SAND, GRAVEL, AND COBBLE MATERIAL, FREE FROM FROZEN MATERIAL, ORGANIC MATERIAL, TRASH, GLASS, BROKEN CONCRETE, AND OTHER CORROSIVE OR DELETERIOUS MATERIAL. APPROVAL OF FILL AND BACKFILL MATERIAL IS CONTINGENT ON THE MATERIAL HAVING A MAXIMUM DRY DENSITY OF NOT LESS THAN 100 POUNDS PER CUBIC FOOT. THE MATERIAL MUST BE STABLE AND HAVE A LIQUID LIMIT LESS THAN 40 AND A PLASTIC INDEX LESS THAN 30 WHEN TESTED IN ACCORDANCE

NO MATERIAL SHALL HAVE DIMENSIONS LARGER THAN THREE (3") INCHES. WHERE THE SUBGRADE LAYER IS LESS THAN SIX (6") INCHES THE MAXIMUM SIZE SHALL NOT EXCEED TWO THIRDS (3) THE DEPTH OF THE LAYER. WHERE UNSTABLE SUBGRADE IS ENCOUNTERED, THE CONTRACTOR SHALL OBTAIN RECOMMENDATIONS FROM THE OWNER'S GEOTECHNICAL ENGINEER AND PROVIDE RECOMMENDATIONS AND VARIANCE PRICING TO OWNER TO STABILIZE THE MATERIAL BY TECHNIQUES SUCH AS OVER-EXCAVATION AND BACKFILL WITH IMPORTED MATERIAL, USE OF GEOTECHNICAL REINFORCEMENT, CHEMICAL STABILIZATION OR OTHER METHODS. THE CONTRACTOR SHALL NOTIFY THE OWNER OF PROPOSED SOLUTION TO STABILIZE THE SUBGRADE AND SHALL NOT COMMENCE UNTIL THEY HAVE RECEIVED WRITTEN APPROVAL FROM THE OWNER. IF TESTS OR OBSERVATION REVEAL THAT MATERIAL BEING PLACED IS NOT OF SUITABLE QUALITY AND STRUCTURAL VALUE, THE CONTRACTOR SHALL PROVIDE OTHER MATERIAL AS APPROVED BY THE OWNER'S

17. EXCAVATION OF ALL MATERIALS SHALL BE PERFORMED IN CONFORMITY WITH THE LINES AND GRADES INDICATED ON THE DRAWINGS. SUITABLE MATERIAL REMOVED FROM THE EXCAVATION MAY BE USED AS FILL AND BACKFILL OR ANY OTHER AREAS WITHIN THE LIMITS OF WORK AS PERMITTED BY THE ENGINEER. WHERE MATERIAL ENCOUNTERED WITHIN THE LIMITS OF THE WORK IS CONSIDERED UNSUITABLE BY THE OWNER'S GEOTECHNICAL ENGINEER, SUCH MATERIAL SHALL BE EXCAVATED AS DIRECTED BY THESE STANDARDS, THE PLANS, OR

18. BUILDING PADS AND THE PAVEMENT STRUCTURE SHALL BE FOUNDED ON ORIGINAL, UNDISTURBED SOIL OR ON STRUCTURAL BACKFILL EXTENDED TO THE UNDISTURBED SOIL. BUILDING PADS AND THE PAVEMENT STRUCTURE SHALL NOT BE FOUNDED ON EXISTING FILL IF ENCOUNTERED AT THE PROJECT SITE UNLESS APPROVED BY THE ENGINEER. IF EXISTING FILL IS ENCOUNTERED AT THE SUBGRADE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHO SHALL EVALUATE THE EXISTING FILL FOR SUITABILITY OF ACCEPTING NEW FILL.

19. THE CONTRACTOR SHALL BLEND THE INTERSECTION OF CUT SLOPES WITH THE SLOPES OF ADJACENT NATURAL GROUND SURFACES IN A

20. ALL EXCAVATED MATERIAL SHALL BE STOCKPILED IN A MANNER THAT DOES NOT ENDANGER THE WORK OR WORKERS AND DOES NOT OBSTRUCT SIDEWALKS, STREETS, ALLEYS, AND/OR DRIVEWAYS. THE WORK SHALL BE DONE IN A MANNER THAT WILL MINIMIZE INTERFERENCE WITH TRAFFIC AND/OR DRAINAGE. THE CONTRACTOR AT THE END OF EACH DAY SHALL BARRICADE ALL EXCAVATIONS AND DITCH LINES, REMOVE EXCESS EXCAVATED MATERIAL FROM TRAVEL WAYS, AND THOROUGHLY CLEAN ALL STREETS, ALLEYS, AND/OR

21. MATERIAL ENCOUNTERED DURING EXCAVATION; SUCH AS, RUBBISH, ORGANIC, OR FROZEN MATERIAL, AND ANY OTHER MATERIAL WHICH IS UNSATISFACTORY FOR USE AS BACKFILL IN THE OPINION OF THE OWNER'S GEOTECHNICAL ENGINEER, SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. STONES, CONCRETE, OR ASPHALT CHUNKS LARGER THAN THREE (3") INCHES OR FROZEN MATERIAL SHALL BE CONSIDERED UNSATISFACTORY BACKFILL AND REMOVED BY THE CONTRACTOR. FROZEN MATERIAL,

22. FILL AND BACKFILL SHALL CONSIST OF APPROVED MATERIAL UNIFORMLY DISTRIBUTED IN 8-INCH UNCOMPACTED LIFTS. EACH LIFT OF BACKFILL SHALL BE COMPACTED TO THE REQUIRED DENSITY BEFORE SUCCESSIVE LAYERS ARE PLACED. STRUCTURAL FILL AND BACKFILL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY WITHIN +/- TWO (2%) PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698. IN CONFINED AREAS SUCH AS UTILITY TRENCHES, PORTABLE COMPACTION EQUIPMENT AND THIN LIFTS OF 3 TO 4-INCHES MAY BE REQUIRED TO ACHIEVE THE SPECIFIED DEGREES OF COMPACTION.

23. BEFORE ANY FILL IS PLACED, CLEARING, TREE REMOVAL, SOD AND TOPSOIL REMOVAL OVER THE ENTIRE AREA SHALL BE PERFORMED IN ACCORDANCE WITH THESE STANDARDS. THE BASE OF FILL AREA SHALL BE PROOFROLLED WITH A PNEUMATIC TIRED VEHICLE WEIGHING 20-30 TONS AND OBSERVED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE OWNER'S GEOTECHNICAL ENGINEER NO LESS THAN 24 HOURS PRIOR TO PLACING FILL TO SCHEDULE THE PROOFROLL. NO FILL MATERIAL SHALL BE PLACED UPON SOFT, SPONGY, OR FROZEN MATERIAL OR OTHER MATERIAL, THE STABILITY OF WHICH IS IN THE OPINION OF THE OWNER'S

WHEN FILL IS TO BE PLACED ON SLOPES, IT SHALL BE CONTINUOUSLY BENCHED IN HORIZONTAL LAYERS TO KEY INTO THE EXISTING SLOPE. EACH LIFT OF THE FILL MATERIAL SHALL NOT EXCEED EIGHT (8") INCHES IN LOOSE DEPTH. THE CONTRACTOR SHALL THOROUGHLY MIX AND

25. GRADED SLOPES SHALL NOT EXCEED 3:1 OR AS RECOMMENDED BY THE OWNER'S GEOTECHNICAL ENGINEER.

26. BACKFILL MATERIAL SHALL NOT BE DEPOSITED AGAINST NEWLY CONSTRUCTED MASONRY OR CONCRETE STRUCTURES UNTIL THE CONCRETE HAS DEVELOPED A FIELD COMPRESSIVE STRENGTH OF EQUAL TO THE DESIGN COMPRESSIVE STRENGTH.

27. COMPACTION METHODS THAT PRODUCE HORIZONTAL OR VERTICAL EARTH PRESSURES, WHICH MAY CAUSE EXCESSIVE DISPLACEMENT OR OVERTURNING, OR MAY DAMAGE STRUCTURES, BURIED PIPE, OR UTILITIES, SHALL NOT BE USED.

28. UNLESS OTHERWISE INDICTED IN THE CONTRACT OR DIRECTED BY THE ENGINEER, ALL SHEETING AND BRACING USED IN EXCAVATION SHALL

29. THE CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING THE QUALITY CONTROL TESTING AND PROTECTION OF WORK UNTIL ACCEPTED BY THE OWNER. ALL QUALITY CONTROL TEST RESULTS SHALL BE MADE AVAILABLE TO THE OWNER AND ENGINEER IMMEDIATELY AFTER TESTING. ACCEPTANCE TESTING MAY INCLUDE BUT NOT LIMITED TO TESTS ASSOCIATED WITH PLACING OF CONCRETE, ASPHALT, AND BASE COURSE SUBGRADE PREPARATION, AND SOIL COMPACTION. THE CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION MATERIAL TESTING FIRM AS TO WHEN HE OR SHE IS READY FOR TESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED

30. UPON COMPLETION OF THE STRIPPING OPERATIONS, THE EXPOSED SUBGRADE IN AREA TO RECEIVE FILL SHOULD BE PROOFROLLED WITH A LOADED DUMP TRUCK OR SIMILAR PNEUMATIC TIRED VEHICLE (LOADED WIGHT OF 20-30 TONS) UNDER THE OBSERVATION OF THE A

31. THE PROOFROLLING PROCEDURES SHOULD CONSIST OF COMPLETE PASSES OF THE EXPOSED AREA, WITH HALF OF THE PASSES BEING IN A DIRECTION PERPENDICULAR TO THE PRECEDING ONES. AFTER EXCAVATION OS THE SITE HAS BEEN COMPLETED, THE EXPOSED SUBGRADE IN CUT AREAS SHOULD ALSO BY PROOFROLLED AS PREVIOUSLY DESCRIBED. ANY AREA WHICH DEFLECT, RUT, OR PUMP EXCESSIVELY DURING PROOFROLLING OR FAIL TO IMPROVE SUFFICIENTLY AFTER SUCCESSIVE PASSES SHOULD BE UNDERCUT TO SUITABLE SOILS AND REPLACED WITH STRUCTURAL FILL. THE EXTENT OF THE UNDERCUT REQUIRED SHOULD BE EVALUATED IN THE FIELD BY AN EXPERIENCED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER WHILE MONITORING CONSTRUCTION ACTIVITY. THE EVALUATION SHOULD CONSIST OF A COMPREHENSIVE PROOFROLLING PROGRAM AND THOROUGH FIELD EVALUATION DURING CONSTRUCTION.

32. AFTER THE PROOFROLLING OPERATION HAS BEEN COMPLETED AND APPROVED, FINAL SITE GRADING SHOULD PROCEED IMMEDIATELY. IF CONSTRUCTION PROGRESSES DURING WET WEATHER, THE PROOFROLLING OPERATION SHOULD BE REPEATED WITH AT LEAST ONE PASS IN EACH DIRECTION IMMEDIATELY PRIOR TO PLACING BASE COURSE IN THE PARKING/DRIVE AREAS. IF UNSTABLE CONDITIONS AREA EXPOSED

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	NCBOI	LA #C-478		
VILLAGE OF MARVIN	VILLAGE HALL PARK PHASE 1	100% CONSTRUCTION DOCUMENTS 10006 MARVIN SCHOOL ROAD MARVIN, NORTH CAROLINA		
SEAL				
DO	NO	MINARY- FUSE FOR FRUCTION		
KEY PLAN:				
SCALE:				
REVISIONS				
 3 05/29/25 2 01/28/25 		AGENCY COMMENTS 70% REVIEW SET		
<u>/2</u> 01/28/23 <u>/1</u> 11/08/24				
NO. DATE	BY	DESCRIPTION		
DRAWN BY	<u>BJN</u>			
APPROVED BY	BMI DLJ			
DATE	AUC	GUST 28, 2024		
TITLE				
GENERAL NOTES (SHEET 1 OF 2)				
DEI PROJECT NO:	501816	675		

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SHEET NO.

	1 2
	SITE NOTES
	1. DIMENSIONS AND COORDINATE POINTS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
	2. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL STANDARDS.
	 ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER OF RECORD PRIOR TO PROCEEDING WITH WORK.
Е	 PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL REGULATORY AUTHORITIES.
	5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
	6. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
	7. DO NOT SCALE DRAWINGS FROM ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
	 CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT. LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION.
	10. THE (VILLAGE OF MARVIN/UNION COUNTY) ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
	11. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC FILE OF THESE DRAWINGS UPON REQUEST.
	12. ALL RETAINING WALLS SHALL HAVE A 48" HEIGHT BLACK ALUMINUM FENCE WITH PICKETS NOT PERMITTING THE PASSAGE OF A 4" DIAMETER SPHERE LOCATED ON THE TOP OF WALL. SEE WALL DESIGN BY OTHERS FOR DETAILED INFORMATION.
	 IF REQUIRED BY VILLAGE OF MARVIN/UNION COUNTY, P.E. SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO VILLAGE/COUNTY ENGINEER PRIOR TO CONSTRUCTION.
	14. ALL PAVED AREAS SHALL COMPLY WITH THE LATEST ADA ACCESSIBILITY (2010) AND ANSI A117.1 GUIDELINES.
	15. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,600-PSI AT 28 DAYS, AND SHALL HAVE A MEDIUM BROOM FINISH PERPENDICULAR TO THE PATH OF TRAVEL.
D	16. ALL PROPOSED PAVEMENT ADJACENT TO EXISTING PAVEMENT SHALL TIE FLUSH TO ADJACENT SURFACES.
	ENHANCED LANDSCAPE PLANTER EMBANKMENT CONSTRUCTION NOTES
	<u>EMBANKMENT REQUIREMENTS:</u> THE FOLLOWING EMBANKMENT SPECIFICATIONS APPLY TO ALL BMPS WITH EMBANKMENTS THAT ARE DESIGNED TO HOLD WATER, EVEN IF
	THE FOLLOWING EMBANKMENT SPECIFICATIONS AFPET TO ALL DMPS WITH EMBANKMENTS THAT ARE DESIGNED TO HOLD WATER, EVEN IP THE EMBANKMENT IS DESIGNED TO HOLD WATER ONLY DURING A STORM EVENT.
	EMBANKMENT FILL MATERIALS: THE FOLLOWING PARAMETERS APPLY TO MATERIALS USED TO CONSTRUCT EMBANKMENTS:
	 BORROW MATERIAL SHALL BE CLASSIFIED AS ML, MH, SC, SM, CL, OR CH SOILS ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D2487) OR ANY MIXTURE OF THESE SOILS.
	 BORROW MATERIALS SHALL HAVE A LIQUID LIMIT (LL) BETWEEN 40 AND 60 AND A PLASTICITY INDEX (PI) BETWEEN 15 AND 30 (ASTM D4318) MATERIAL & SUALL RE EREE OF TORSOLL OR CANLO MATERIAL ROOTS, STUMPS, REVISIT ROOKS LARGER THAN SINCHES, SUBSOLL
	 MATERIALS SHALL BE FREE OF TOPSOIL, ORGANIC MATERIAL, ROOTS, STUMPS, BRUSH, ROCKS LARGER THAN 3 INCHES, SUBSOIL, DEBRIS, VEGETATION, AND OTHER FOREIGN MATTER. ALL MATERIAL CLODS WILL BE BROKEN DOWN WITH TILLERS AND/OR DISCS TO PROVIDE A HOMOGENEOUS SOIL THAT IS FREE OF CLAY
	CLODS GREATER THAN 3 INCHES IN DIAMETER.
C	THE FOLLOWING STEPS APPLY TO CONSTRUCTION OF AN EMBANKMENT: STEP 1: SUBGRADE PREPARATION:
C	 COMPACT SUBGRADE TO DENSITY REQUIREMENTS FOR SUBSEQUENT FILL MATERIALS. CUT OUT SOFT AREAS OF SUBGRADE NOT CAPABLE OF COMPACTION IN PLACE.
	 SCARIFY SUBGRADE SURFACE TO DEPTH OF 6 INCHES. PROOF ROLL SUBGRADE TO IDENTIFY SOFT SPOTS; FILL AND COMPACT TO DENSITY EQUAL TO OR GREATER THAN REQUIREMENTS FOR SUBSEQUENT FILL MATERIAL.
	STEP 2: SEEPAGE KEY PLACEMENT: • SEEPAGE KEY TRENCH WILL BE LOCATED BETWEEN EMBANKMENT ABUTMENTS.
	 SEEPAGE KEY TRENCH WILL BE LOCATED BETWEEN EMBANKMENT ABUTMENTS. SEEPAGE KEY SHALL EXTEND TO A MINIMUM DEPTH OF 4 FEET OR AS REQUIRED THROUGH GEOTECHNICAL SEEPAGE ANALYSIS. A MINIMUM BOTTOM TRENCH WIDTH SHALL BE 10 FEET AND THE TRENCH SIDEWALLS SHALL BE SLOPED OR BENCHED TO PROMOTE
	STABILITY AND BONDING BETWEEN THE SIDEWALL SOILS AND SEEPAGE KEY FILL. STEP 3: EMBANKMENT FILL PLACEMENT:
	EMBANKMENT FILL SHALL BE CONSTRUCTED AT 3 (HORIZONTAL): 1 (VERTICAL) OR AS SHOWN ON THE DRAWINGS. DEMONSTRATION OF APPROPRIATE SAFETY FACTORS AGAINST FAILURE THROUGH GEOTECHNICAL ANALYSIS SHALL BE REQUIRED FOR SLOPES STEEPER
	 THAN 3 (HORIZONTAL): 1 (VERTICAL). FILL SOILS SHALL BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS AND BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE SOILS STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY, OR AS SPECIFIED ON THE DRAWINGS.
	 COMPACTED MOISTURE CONTENT SHALL BE BETWEEN 3 PERCENT BELOW AND 3 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT FOR ALL FILL PLACED, OR AS OTHERWISE APPROVED BY ENGINEER.
	 FILL SOILS SHOULD BE PLACED IN CONTINUOUS, HORIZONTAL LAYERS FROM ABUTMENT TO ABUTMENT. EXISTING SLOPES GREATER THAN 4 (HORIZONTAL): 1 (VERTICAL) SHALL BE BENCHED TO PROMOTE BONDING OF NEWLY PLACED FILL WITH EXISTING SOILS. BENCHING SHALL BE PERFORMED AT MAXIMUM OF 2 FEET VERTICAL INTERVALS AND SHALL EXTEND A MINIMUM OF 4 FEET
	 HORIZONTALLY OR AS SPECIFIED ON DRAWINGS. WITHIN THE UPPER 12 INCHES OF EMBANKMENT, FILL SOILS SHOULD BE COMPACTED TO 100% OF ITS STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY.
В	 FILL AGAINST SUPPORTED STRUCTURES. DO NOT FILL AGAINST UNSUPPORTED STRUCTURES. PLACE FILL SIMULTANEOUSLY ON EACH SIDE OF UNSUPPORTED STRUCTURES UNTIL SUPPORTS ARE IN PLACE.
	PLACE A MINIMUM OF 6 INCHES OF TOPSOIL ACROSS DAM EMBANKMENT TO PROMOTE VEGETATIVE GROWTH.
	 STEP 4: OUTLET PIPE FILL PLACEMENT: FILL OF THE CULVERTS SHALL BE PLACED AND COMPACTED IN 6-INCH THICK LOOSE LIFTS AROUND THE DROP INLETS AND UP TO 2 FEET ABOVE THE CULVERTS.
	 COMPACTION SHALL BE PERFORMED BY HAND TAMPERS OR SMALL HAND OPERATED COMPACTORS. COMPACTION SHALL BE AT A MINIMUM OF 95 PERCENT OF THE STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY. COMPACTED
	 MOISTURE CONTENT SHALL BE BETWEEN 3 PERCENT BELOW AND 3 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT FOR ALL FILL PLACED, OR AS OTHERWISE APPROVED BY ENGINEER. ADDITIONAL COMPACTION OF LIFTS 2 FEET OR GREATER ABOVE CULVERTS SHALL CONFORM TO THE EMBANKMENT FILL PLACEMENT
	SECTION OF THIS SPECIFICATION
	STEP 5: FIELD QUALITY CONTROL:
	 PERFORM LABORATORY MATERIAL TESTS IN ACCORDANCE WITH ASTM D422, ASTM D698, ASTM D2216, AND ASTM D4318. TEST AT A FREQUENCY OF EVERY 500 CUBIC YARDS OF EMBANKMENT FILL MATERIAL PLACED, WHEN MATERIALS USING FOR
	 TEST AT A PREQUENCT OF EVERT 500 COBIC TARDS OF EMBANRMENT FILL MATERIAL FLACED, WHEN MATERIALS USING FOR EMBANKMENT FILL CHANGE, AND/OR AS DIRECTED BY THE ENGINEER. SAMPLE SIZE SHALL BE 50-LBS.
	IN PLACE COMPACTION AND NATURAL MOISTURE CONTENT TESTS:
Α	 PERFORM IN PLACE COMPACTION TESTS IN ACCORDANCE WITH ASTM D1556, ASTM D2922, OR ASTM D2937 AND NATURAL MOISTURE CONTENT TEST IN ACCORDANCE WITH ASTM D2216.
	FREQUENCY OF COMPACTION/NATURAL MOISTURE CONTENT TESTS:
	 EMBANKMENT FILL: EACH LIFT AT A MINIMUM FREQUENCY OF 1 PER 2,500 SQ. FT. PIPE INSTALLATION: EACH LIFT AT A MINIMUM FREQUENCY OF 1 PER 30 LF OF PIPE.
	WHEN TESTS INDICATE WORK DOES NOT MEET SPECIFIED REQUIREMENTS, REMOVE WORK, REPLACE AND RETEST.

ALLOWABLE VARIANCES:

• EMBANKMENT SPECIFICATIONS MAY BE MODIFIED BASED ON SITE-SPECIFIC GEOTECHNICAL INVESTIGATION AND ENGINEERING DESIGN.

3



SHEET NO.

DEI PROJECT NO: 50181675

Dewbe	Cha Pho Fax ww NC	eers Inc. 00 Harris Corners arlotte, NC 28263 one: 704.509.991 c: 704.509.9937 w.dewberry.com BELS #F-0929 BOLA #C-478	8	te 220
	VILLAGE OF MARVIN	1	100% CONSTRUCTION DOCUMENTS	10006 MARVIN SCHOOL ROAD MARVIN NORTH CAROLINA
SEAL				
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KEY PL	AN:			
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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT					
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.					
SECTION E: GROUND STAE	SECTION E: GROUND STABILIZATION				
Required Ground Stabilization Timeframes					
	Stabilize within this				

7

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📙 (a) Perimeter dikes,

swales, ditches, and

perimeter slopes

(b) High Quality Water

(HQW) Zones

(d) Slopes 3:1 to 4:1

(e) Areas with slopes

flatter than 4:1

3:1

(c) Slopes steeper than

С

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
 Temporary grass seed covered with straw or 	 Permanent grass seed covered with straw or
other mulches and tackifiers	other mulches and tackifiers
 Hydroseeding 	• Geotextile fabrics such as permanent soil
 Rolled erosion control products with or 	reinforcement matting
without temporary grass seed	Hydroseeding
 Appropriately applied straw or other mulch Direction shouting 	 Shrubs or other permanent plantings covered with mulch
 Plastic sheeting 	
	 Uniform and evenly distributed ground cover sufficient to restrain erosion
	 Structural methods such as concrete, asphalt or retaining walls

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

-	
1.	Select flocculants that are appropriate for the soils being exposed during
	construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
2.	Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3.	Apply flocculants at the concentrations specified in the NC DWR List of Approved
	PAMS/Flocculants and in accordance with the manufacturer's instructions.
4.	Provide ponding area for containment of treated Stormwater before discharging
	offsite.

5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

None

None

If slopes are 10' or less in length and are

not steeper than 2:1, 14 days are

-7 days for slopes greater than 50' in

-7 days for perimeter dikes, swales,

ditches, perimeter slopes and HQW

-10 days for Falls Lake Watershed

-7 days for perimeter dikes, swales,

Rolled erosion control products with grass seed

ditches, perimeter slopes and HQW Zones

-10 days for Falls Lake Watershed unless

length and with slopes steeper than 4:1

allowed

Zones

there is zero slope

E,	Α	
E,		
E.		

8.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
- 2. Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- 6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers. 2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. 5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds. 6. Empty waste containers as needed to prevent overflow. Clean up immediately if 7. containers overflow.
 - Dispose waste off-site at an approved disposal facility.

On business days, clean up and dispose of waste in designated waste containers. 9.

PAINT AND OTHER LIQUID WASTE

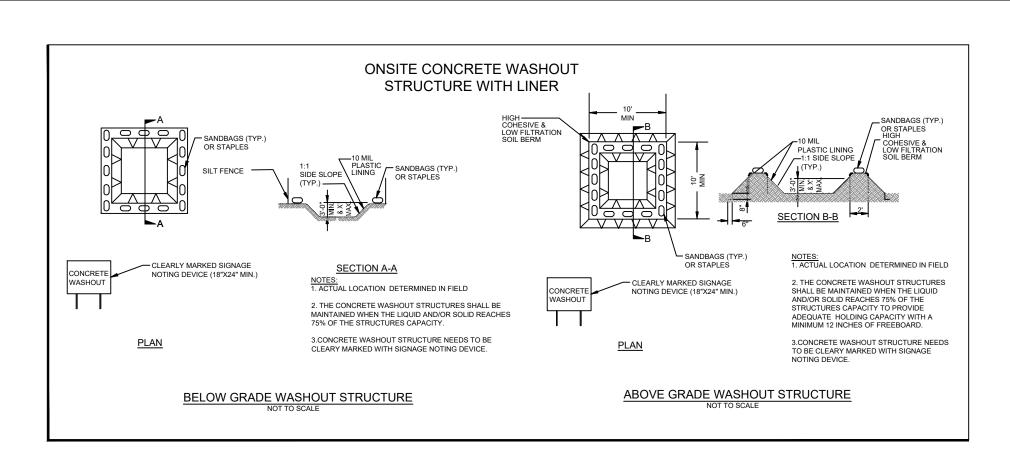
- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- 4. Containment must be labeled, sized and placed appropriately for the needs of site.
- 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from
- construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

RTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- lot perimeter silt fence.
- spills or overflow.
- approving authority.

- caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- restrictions.
- accidental poisoning.

- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING



1. Do not discharge concrete or cement slurry from the site.

2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.

Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within

4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.

Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.

Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive

Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the

8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.

9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.

10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance

Store and apply herbicides, pesticides and rodenticides in accordance with label

2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of

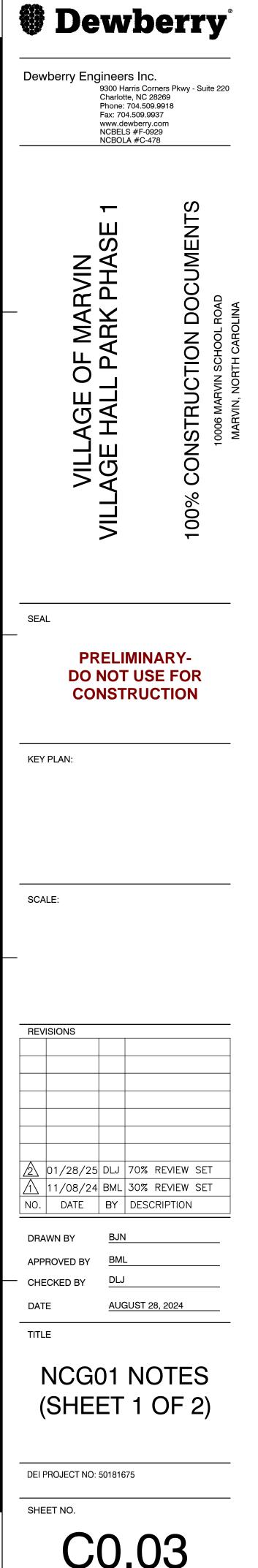
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.

Create designated hazardous waste collection areas on-site.

Place hazardous waste containers under cover or in secondary containment.

Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19



		PART III		PART III
	SELF-INSPECTIO	ON, RECORDKEEPING AND REPORTING	SELF-INSPECTION, REC	CORDKEEPING AND REPORTING
	F-INSPECTION		SECTION B: RECORDKEEPING	
ow. When a sonnel to be ch it is safe t ater than 1.0	dverse weather or in jeopardy, the in o perform the ins inch occurs outsi	ng normal business hours in accordance with the table site conditions would cause the safety of the inspection nspection may be delayed until the next business day on pection. In addition, when a storm event of equal to or de of normal business hours, the self-inspection shall be ent of the next business day. Any time when inspections	approved E&SC plan must be kept up-to-o	oproved deviation shall be kept on the site. The date throughout the coverage under this permit. SC plan shall be kept on site and available for ness hours.
e delayed sh	hall be noted in th	e Inspection Record.	Item to Document	Documentation Requirements
ect ain gauge ntained in d working er	Frequency (during normal business hours) Daily	Inspection records must include: Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un- attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as	(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
ISC Ires	At least once per 7 calendar days and within 24	 "zero." The permittee may use another rain-monitoring device approved by the Division. 1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were appreciated. 	(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
water	hours of a rain event ≥ 1.0 inch in 24 hours At least once per	 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken. 1. Identification of the discharge outfalls inspected, 	(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
e SDOs)	7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Date and time of the inspection, Name of the person performing the inspection, Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, Indication of visible sediment leaving the site, 	(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
imeter of	At least once per 7 calendar days and within 24	 6. Description, evidence, and date of corrective actions taken. If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left 	(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.
Streams or lands onsite offsite lere essible)	hours of a rain event \geq 1.0 inch in 24 hours At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in	 the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases. If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: Description, evidence and date of corrective actions taken, and Records of the required reports to the appropriate Division 	site and available for inspectors at all time Division provides a site-specific exemption this requirement not practical:	Site bove, the following items shall be kept on the es during normal business hours, unless the n based on unique site conditions that make rtificate of Coverage, after it is received.
ound ation res	24 hours After each phase of grading	 Regional Office per Part III, Section C, Item (2)(a) of this permit. 1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required 	 (b) Records of inspections made during t record the required observations on t Division or a similar inspection form t 	he previous twelve months. The permittee shall the Inspection Record Form provided by the hat includes all the required elements. Use of a of the required paper copies will be allowed if
OTE: The rai	n inspection reset	timeframe or an assurance that they will be provided as soon as possible. s the required 7 calendar day inspection requirement.	•	Years Il inspection records shall be maintained for a per d made available upon request. [40 CFR 122.41]

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit, (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

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(c)	Releases of haz of the Clean Wa (Ref: 40 CFR 30	ate	r Ao
(d)	Anticipated byp	bas	ses
(e)	Noncompliance environment.	e wi	ith 1
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	/ironment[40 R 122.41(l)(7)]		cor pre
		•	Div

PART III Dewberry Engineers Inc. 9300 Harris Corners Pkwy - Suite 220 NSPECTION, RECORDKEEPING AND REPORTING Charlotte, NC 28269 Phone: 704.509.9918 Fax: 704.509.9937 www.dewberry.com NCBELS #F-0929 NCBOLA #C-478 be Reported ne following occurrences: position in a stream or wetland. DOCUMENTS VILLAGE OF MARVIN AGE HALL PARK PHASE s or more, 25 gallons but cannot be cleaned up within 24 hours, on surface waters (regardless of volume), or CONSTRUCTION 10006 MARVIN SCHOOL 00 feet of surface waters (regardless of volume). us substances in excess of reportable quantities under Section 311 0006 MAF MARVIN, Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA or G.S. 143-215.85. and unanticipated bypasses. %00 the conditions of this permit that may endanger health or the nd Other Requirements SEAL nes aware of an occurrence that must be reported, he shall contact PRELIMINARYregional office within the timeframes and in accordance with the **DO NOT USE FOR** d below. Occurrences outside normal business hours may also be CONSTRUCTION ent's Environmental Emergency Center personnel at (800) orting Timeframes (After Discovery) and Other Requirements KEY PLAN: /ithin 24 hours, an oral or electronic notification. *Tithin 7 calendar days*, a report that contains a description of the ediment and actions taken to address the cause of the deposition. vision staff may waive the requirement for a written report on a se-by-case basis. the stream is named on the <u>NC 303(d) list</u> as impaired for sedimentlated causes, the permittee may be required to perform additional SCALE: onitoring, inspections or apply more stringent practices if staff etermine that additional requirements are needed to assure compliance ith the federal or state impaired-waters conditions. *Vithin 24 hours,* an oral or electronic notification. The notification hall include information about the date, time, nature, volume and cation of the spill or release. REVISIONS report at least ten days before the date of the bypass, if possible. ne report shall include an evaluation of the anticipated quality and fect of the bypass. Vithin 24 hours, an oral or electronic notification. *(ithin 7 calendar days,* a report that includes an evaluation of the ality and effect of the bypass. '*ithin 24 hours*, an oral or electronic notification. \ 01/28/25 DLJ 70% REVIEW SET *(ithin 7 calendar days, a report that contains a description of the* 11/08/24 BML 30% REVIEW SET ncompliance, and its causes; the period of noncompliance, NO. DATE BY DESCRIPTION cluding exact dates and times, and if the noncompliance has not en corrected, the anticipated time noncompliance is expected to DRAWN BY ontinue; and steps taken or planned to reduce, eliminate, and APPROVED BY event reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). DLJ CHECKED BY Division staff may waive the requirement for a written report on a

case-by-case basis.

EFFECTIVE: 04/01/19

NCG01 NOTES (SHEET 2 OF 2)

AUGUST 28, 2024

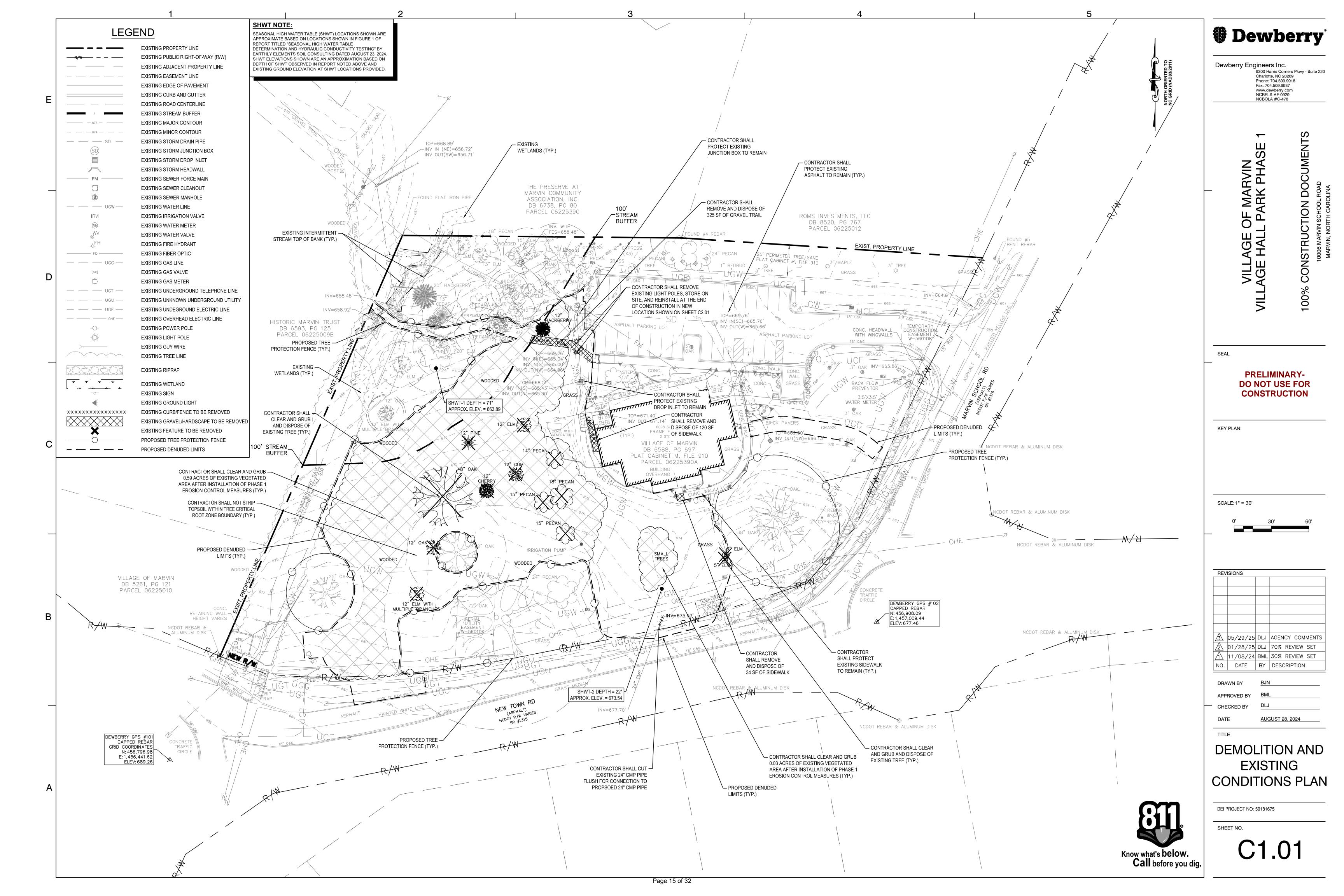
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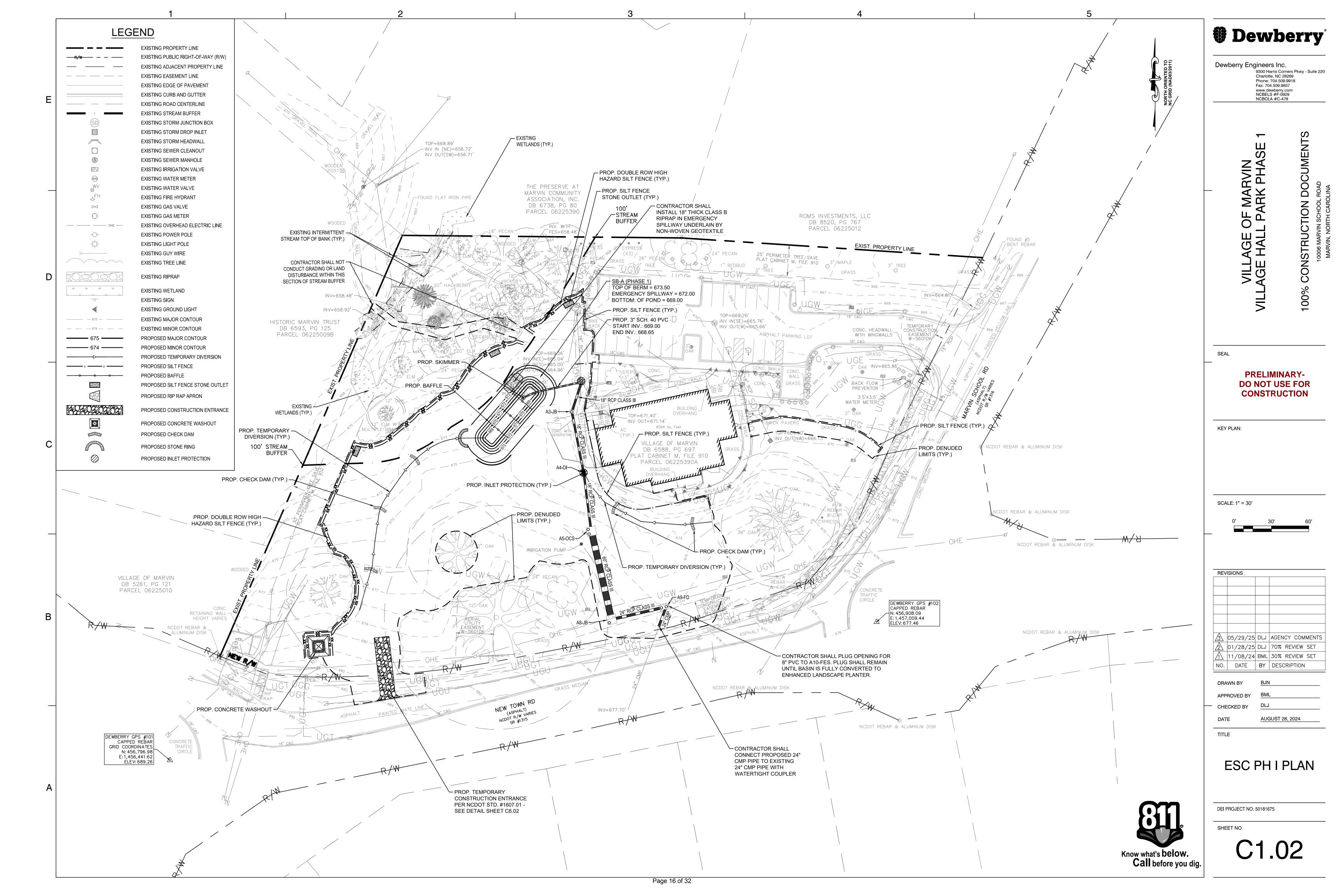
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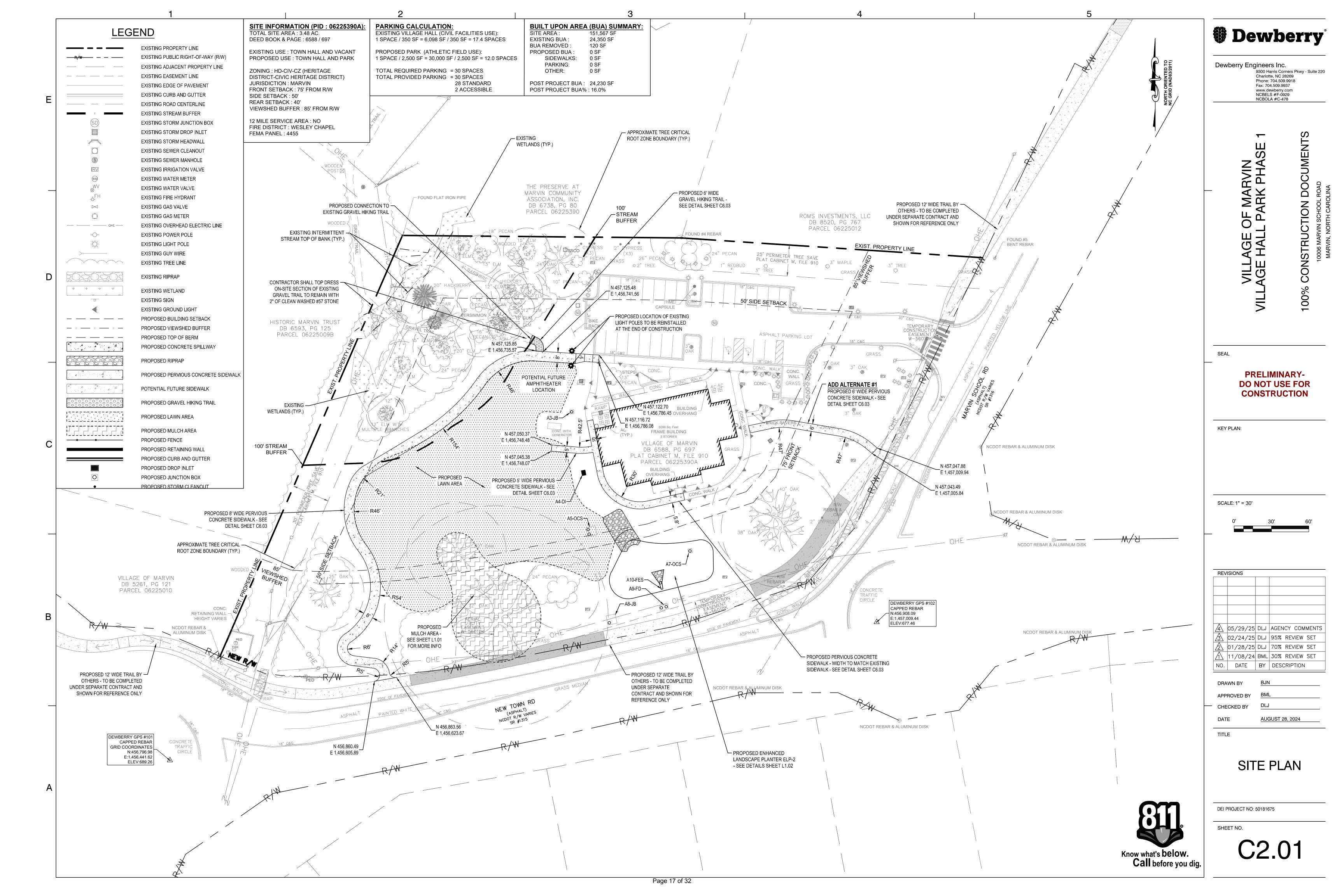
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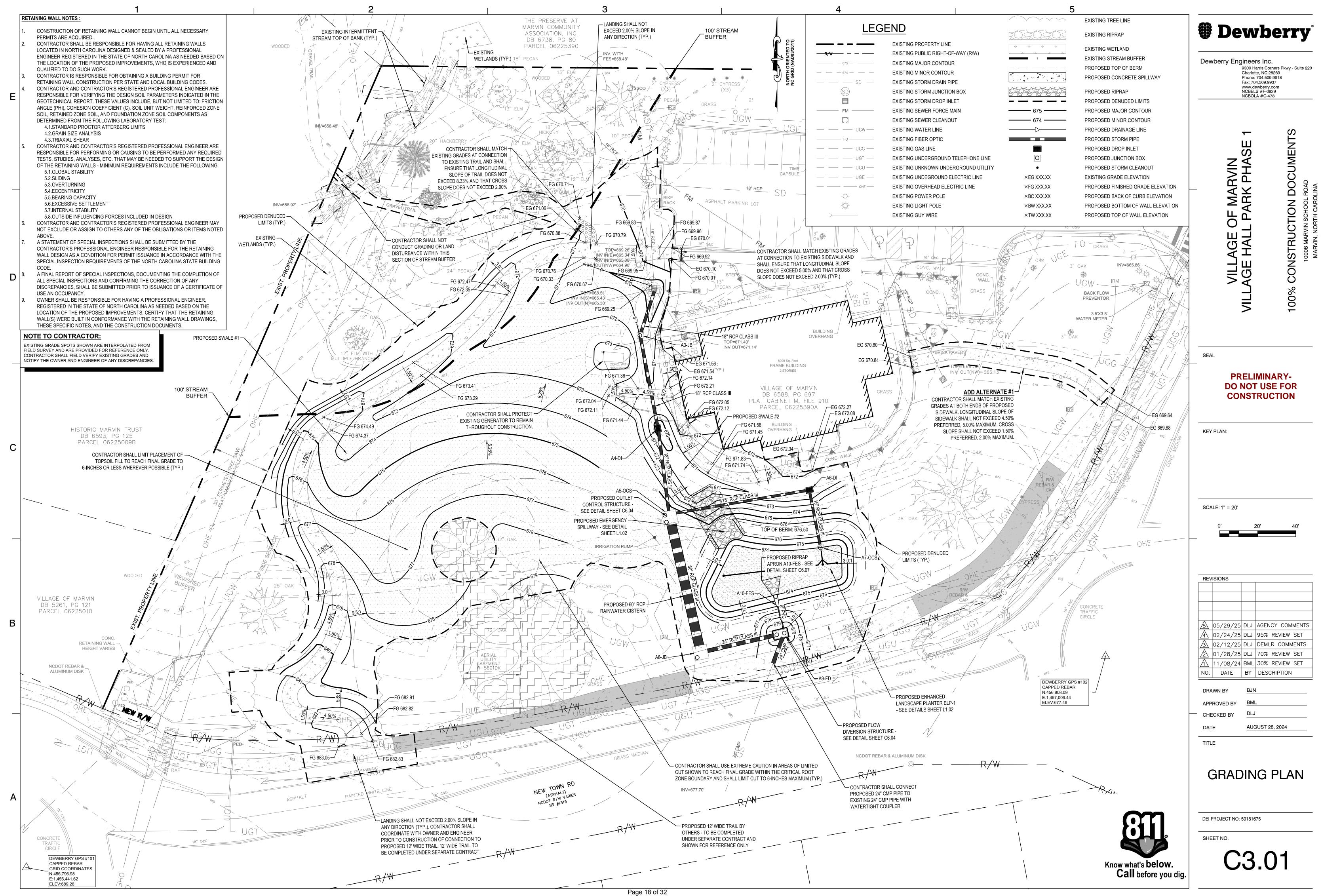
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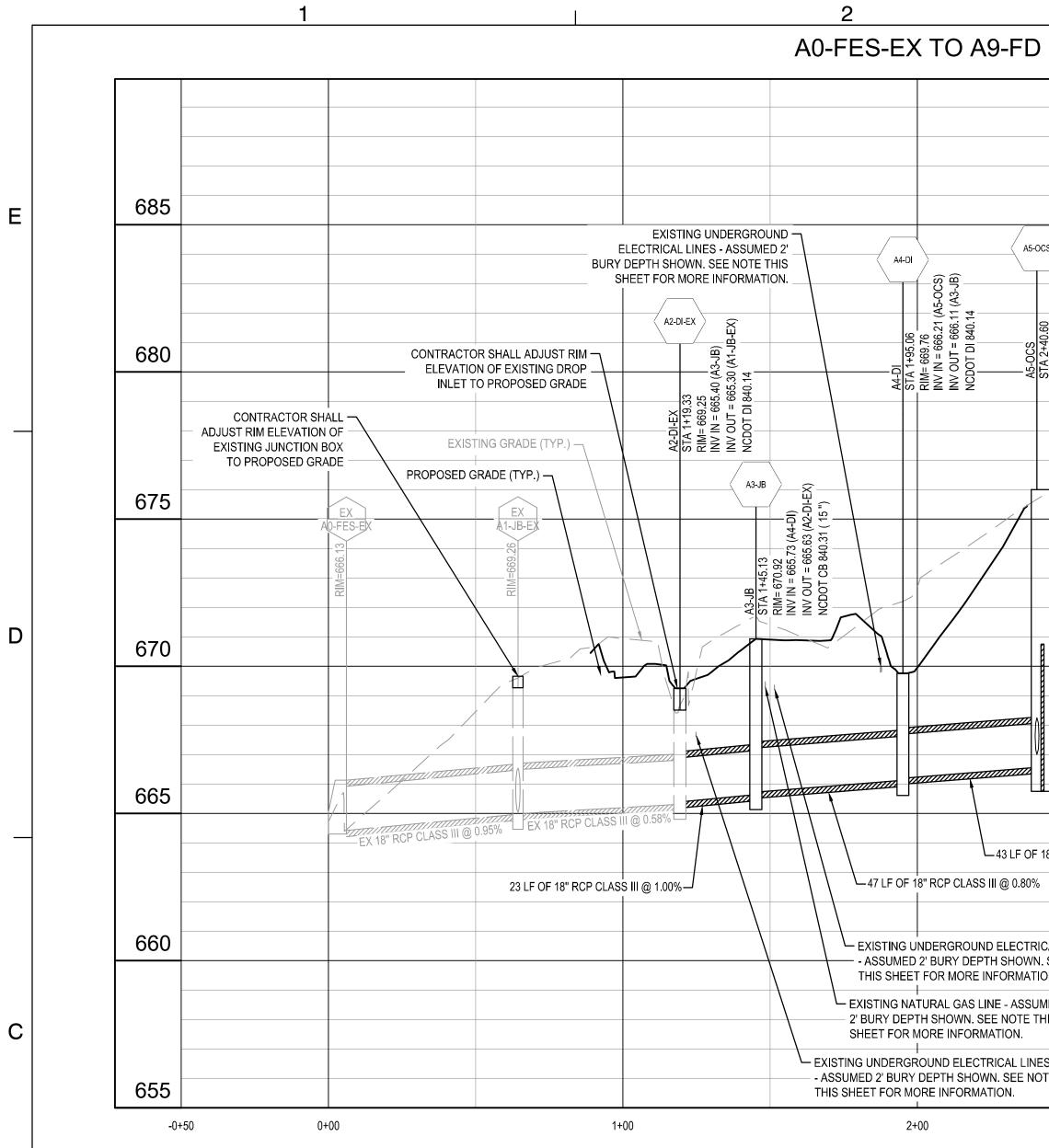
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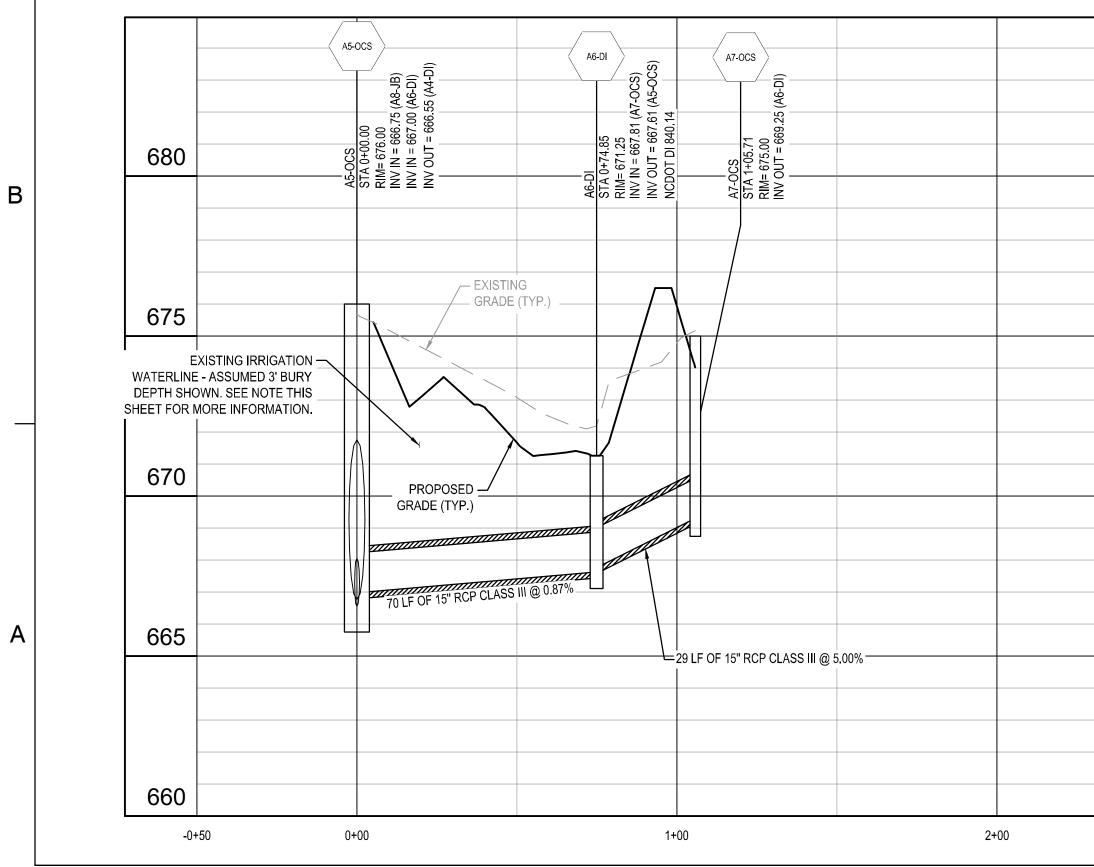




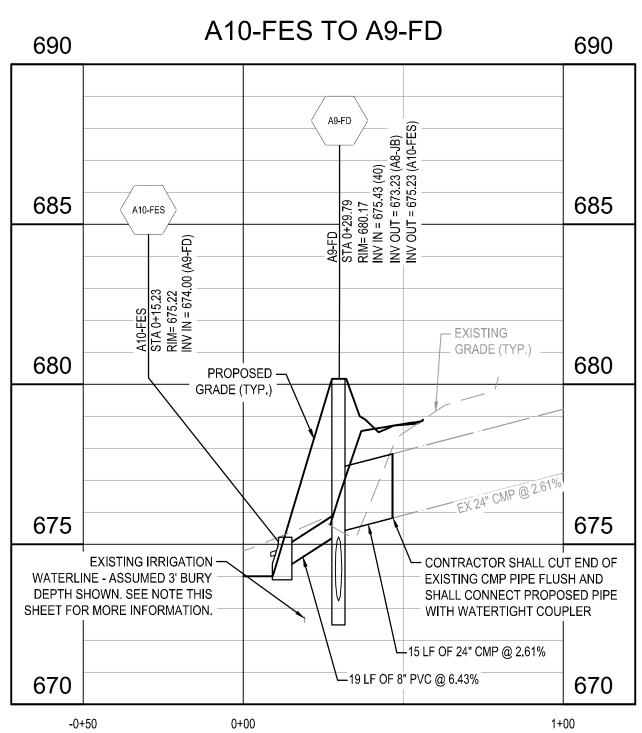


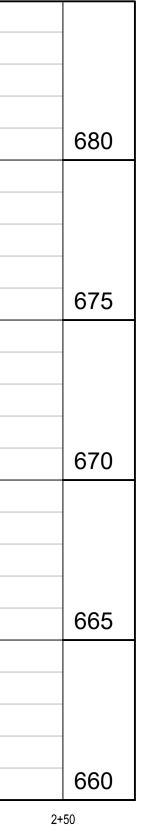


A5-OCS TO A7-OCS



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		675
	-37 LF OF 24" RCP CLASS III @ 1.00%	670
66 LF OF 60" RCP CLASS III @	EXISTING IRRIGATION WATERLINE - ASSUMED 3' BURY DEPTH SHOWN. SEE NOTE THIS SHEET FOR MORE INFORMATION.	665
F OF 18" RCP CLASS III @ 0.80%		
ECTRICAL LINES IOWN. SEE NOTE		660
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L LINES EE NOTE		655

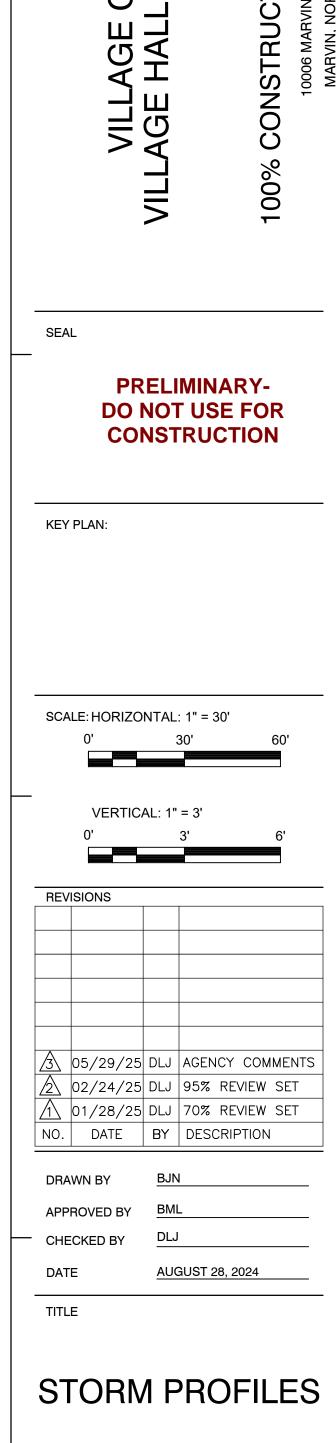




NOTE:

LOCATION OF EXISTING UTILITIES SHOWN IN STORM PROFILES IS APPROXIMATE AND BASED ON THE ASSUMED BURY DEPTHS NOTED. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES.

9300 Harris Corners Pkwy - Suite 220 Charlotte, NC 28269 Phone: 704.509.9918 Fax: 704.509.9937 www.dewberry.com NCBELS #F-0929 NCBOLA #C-478 100% CONSTRUCTION DOCUMENTS 10006 MARVIN SCHOOL ROAD MARVIN, NORTH CAROLINA OF MARVIN L PARK PHASE AGE C HALL VILLAGE I SEAL PRELIMINARY-**DO NOT USE FOR** CONSTRUCTION KEY PLAN: SCALE: HORIZONTAL: 1" = 30' VERTICAL: 1" = 3' REVISIONS 3 05/29/25 DLJ AGENCY COMMENTS 2 02/24/25 DLJ 95% REVIEW SET 1 01/28/25 DLJ 70% REVIEW SET NO. DATE BY DESCRIPTION DRAWN BY BJN APPROVED BY DLJ CHECKED BY AUGUST 28, 2024 DATE TITLE STORM PROFILES



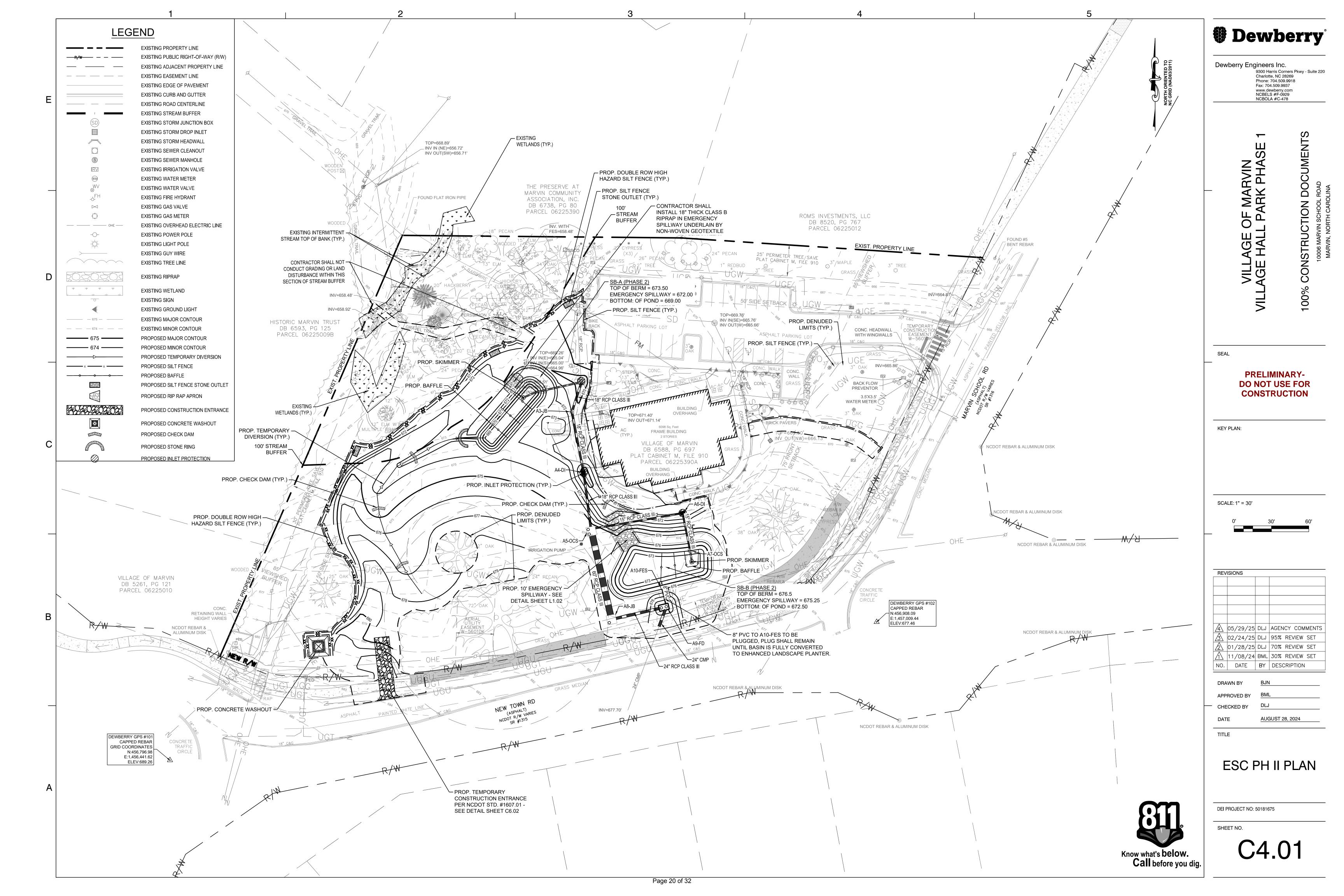
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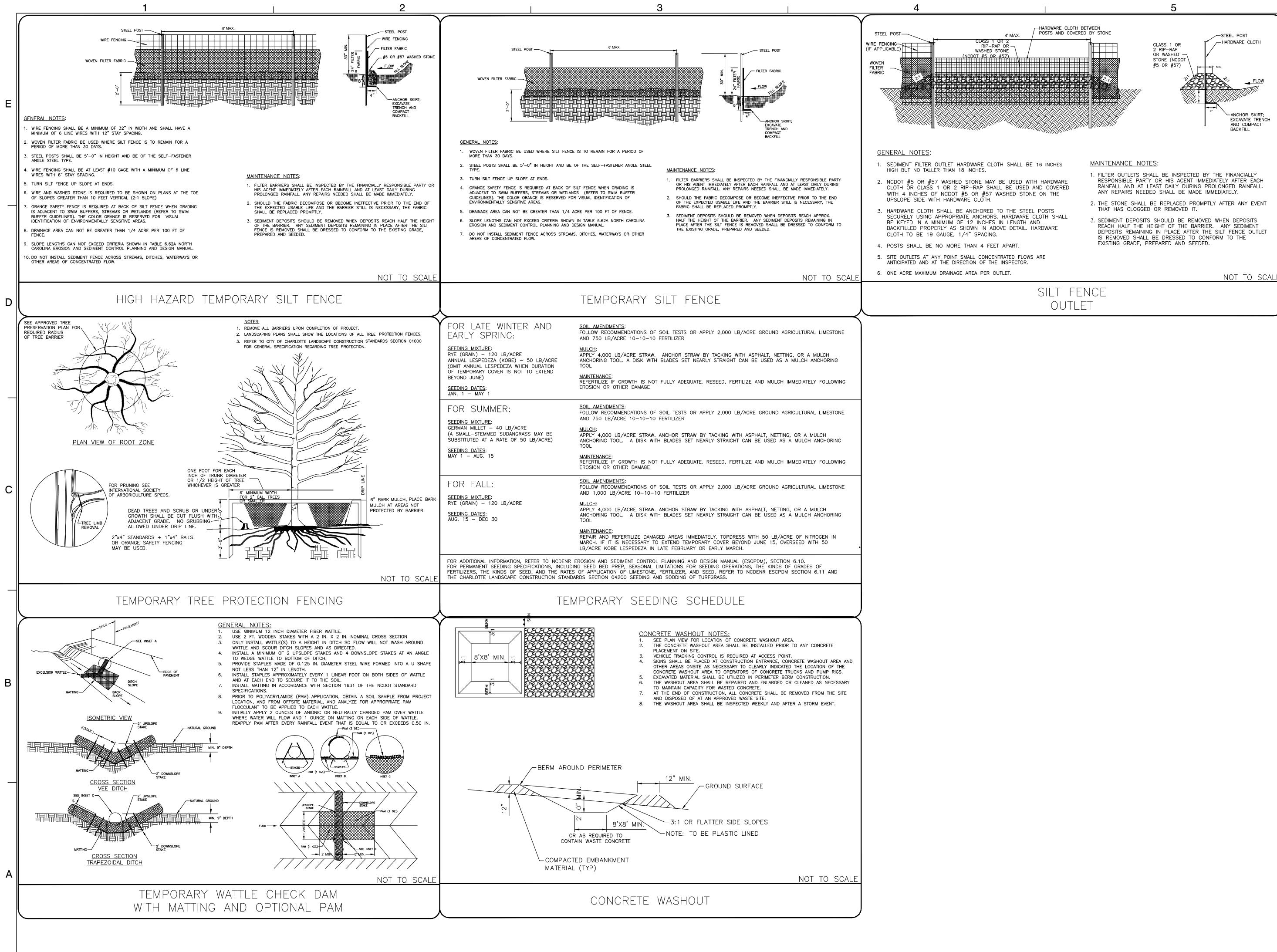
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SHEET NO.



Dewberry Engineers Inc.





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SHEET NO.

DEI PROJECT NO: 50181675

CHECKED BY

DATE

TITLE

ESC DETAILS (SHEET 1 OF 2)

DLJ

AUGUST 28, 2024

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<u> </u>						
	REV	ISIONS				
	\square	05/29/25	DLJ	AGEN	ICY CON	IMENTS
	\triangle	01/28/25	DLJ	70%	REVIEW	SET
	\square	11/08/24	BML	30%	REVIEW	SET
	NO.	DATE	BY	DES	CRIPTION	١
	DRA	WN BY	BJN	1		
	APPROVED BY		BMI			

PRELIMINARY-DO NOT USE FOR CONSTRUCTION

KEY PLAN:

SCALE

Charlotte, NC 28269

Phone: 704.509.9918

Fax: 704.509.9937 www.dewberry.con NCBELS #F-0929

NCBOLA #C-478

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9300 Harris Corners Pkwy - Suite 220

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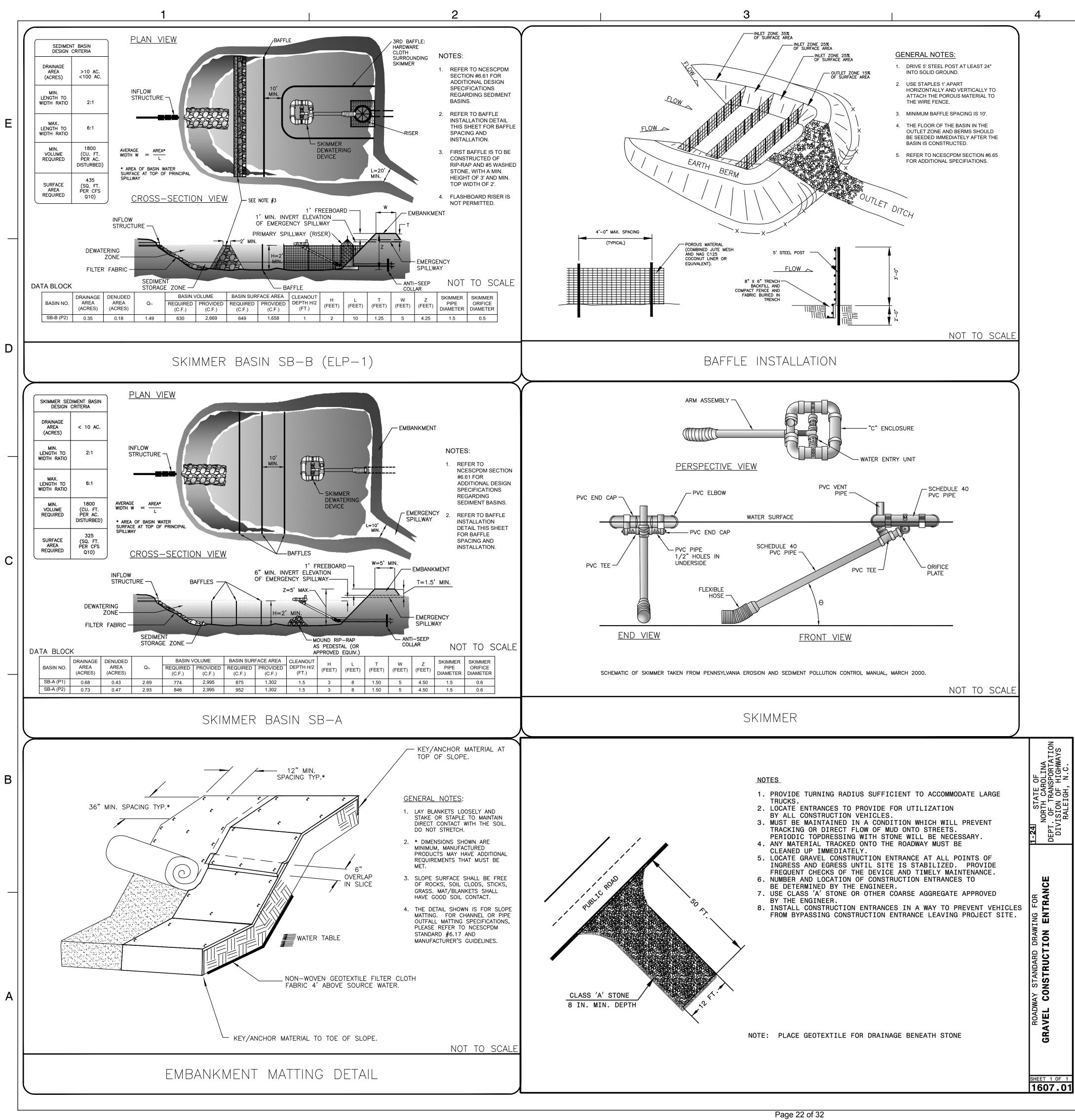
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Dewberry Engineers Inc.

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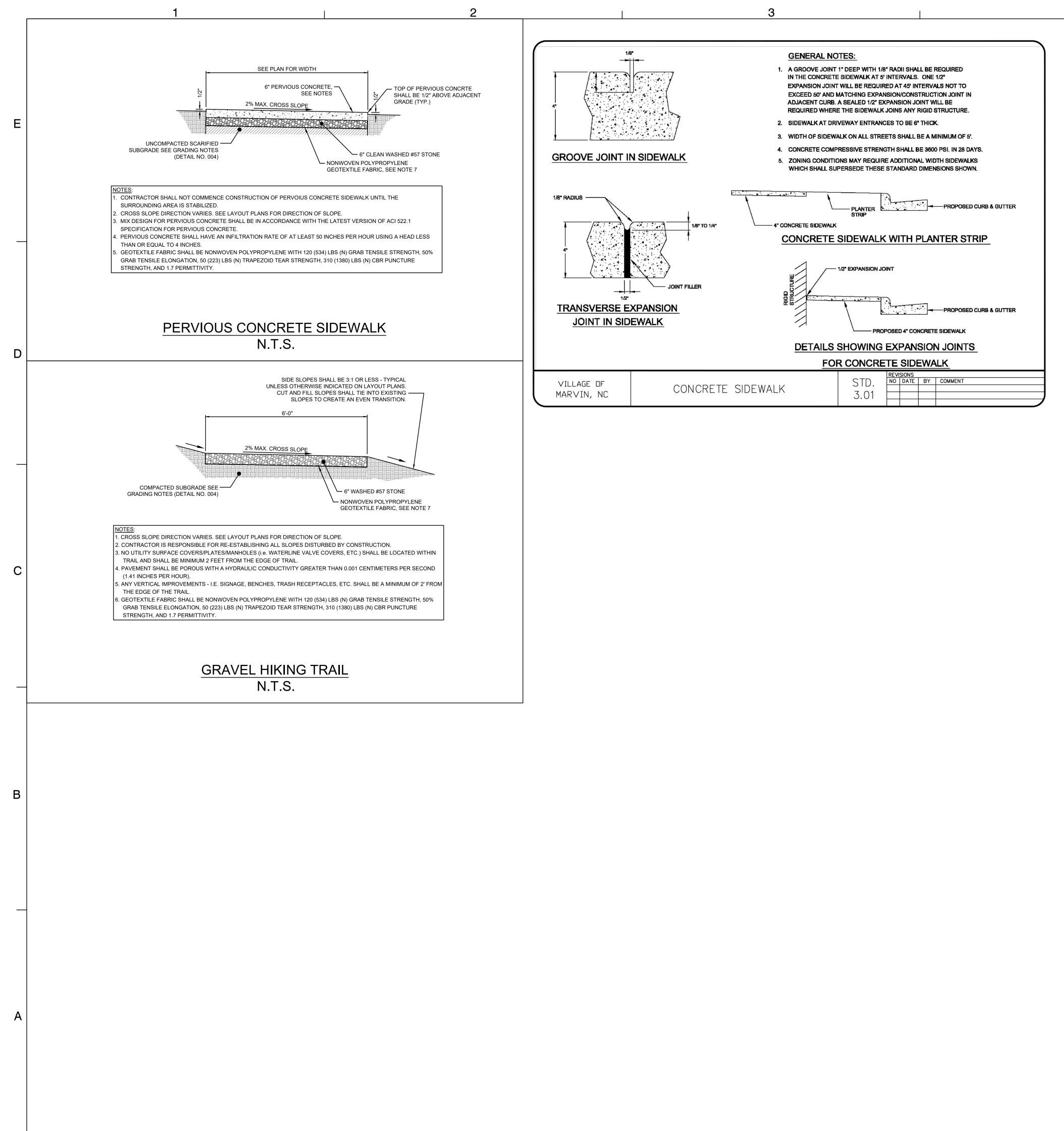




SHEET NO.

DEI PROJECT NO: 50181675

Dew	/berry Eng	9300 H Charlot Phone: Fax: 70 www.d NCBEL	rs Inc. arris Corners F te, NC 28269 704.509.9937 ewberry.com S #F-0929 A #C-478	-	ite 220
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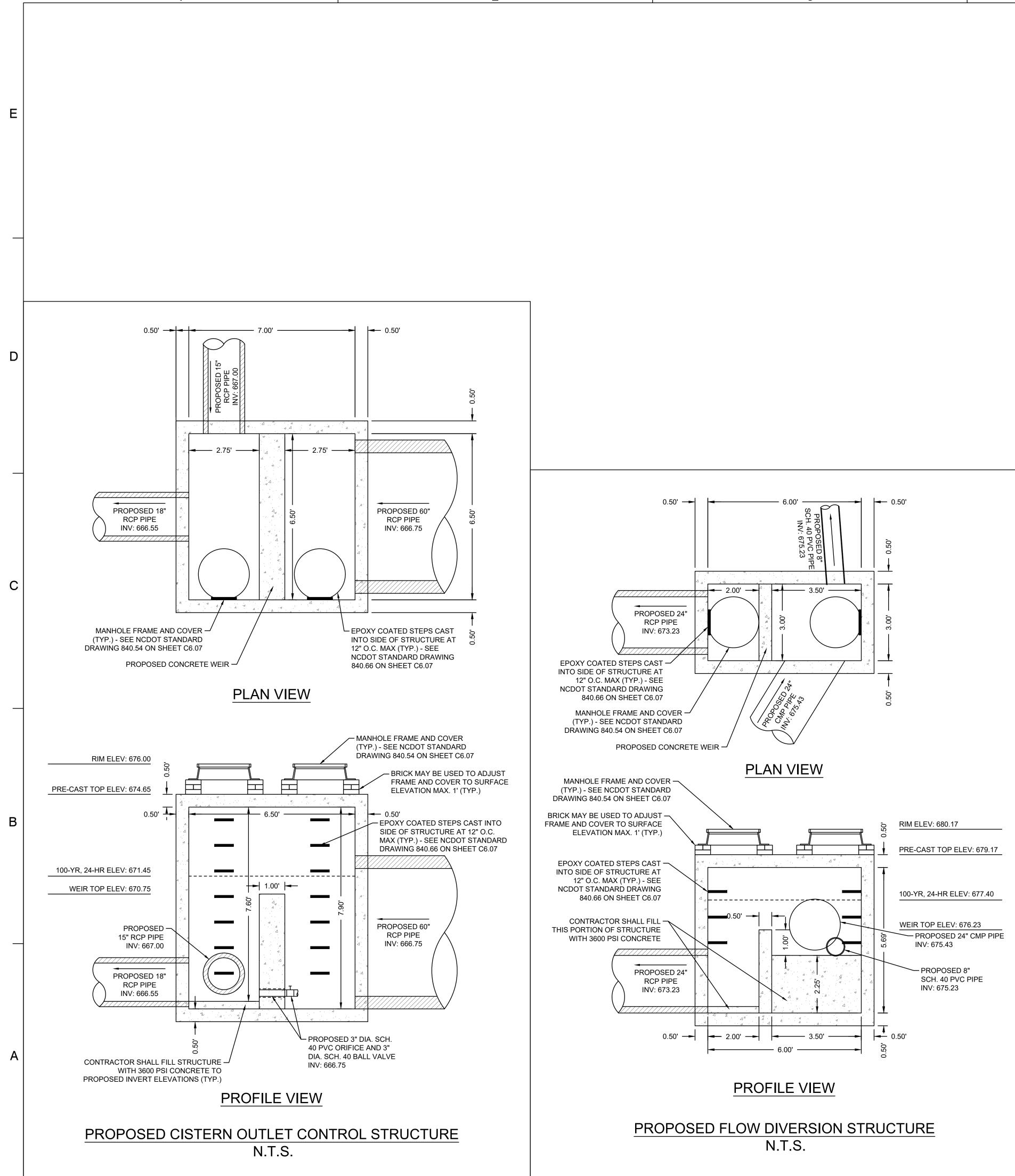
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Dewberry Engineers Inc. 9300 Harris Corners Pkwy - Suite 220

Charlotte, NC 28269 Phone: 704.509.9918





SHEET NO.

DEI PROJECT NO: 50181675

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TITLE
STORMWATER
DETAILS
(SHEET 1 OF 4)

DLJ

AUGUST 28, 2024

REV	REVISIONS							
A	05/29/25	DLJ	AGENCY COMMENTS					
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NO.	DATE	ΒY	DESCRIPTION					

100% VILL SEAL PRELIMINARY-**DO NOT USE FOR** CONSTRUCTION KEY PLAN:

Dewberry Engineers Inc. 9300 Harris Corners Pkwy - Suite 220 Charlotte, NC 28269 Phone: 704.509.9918

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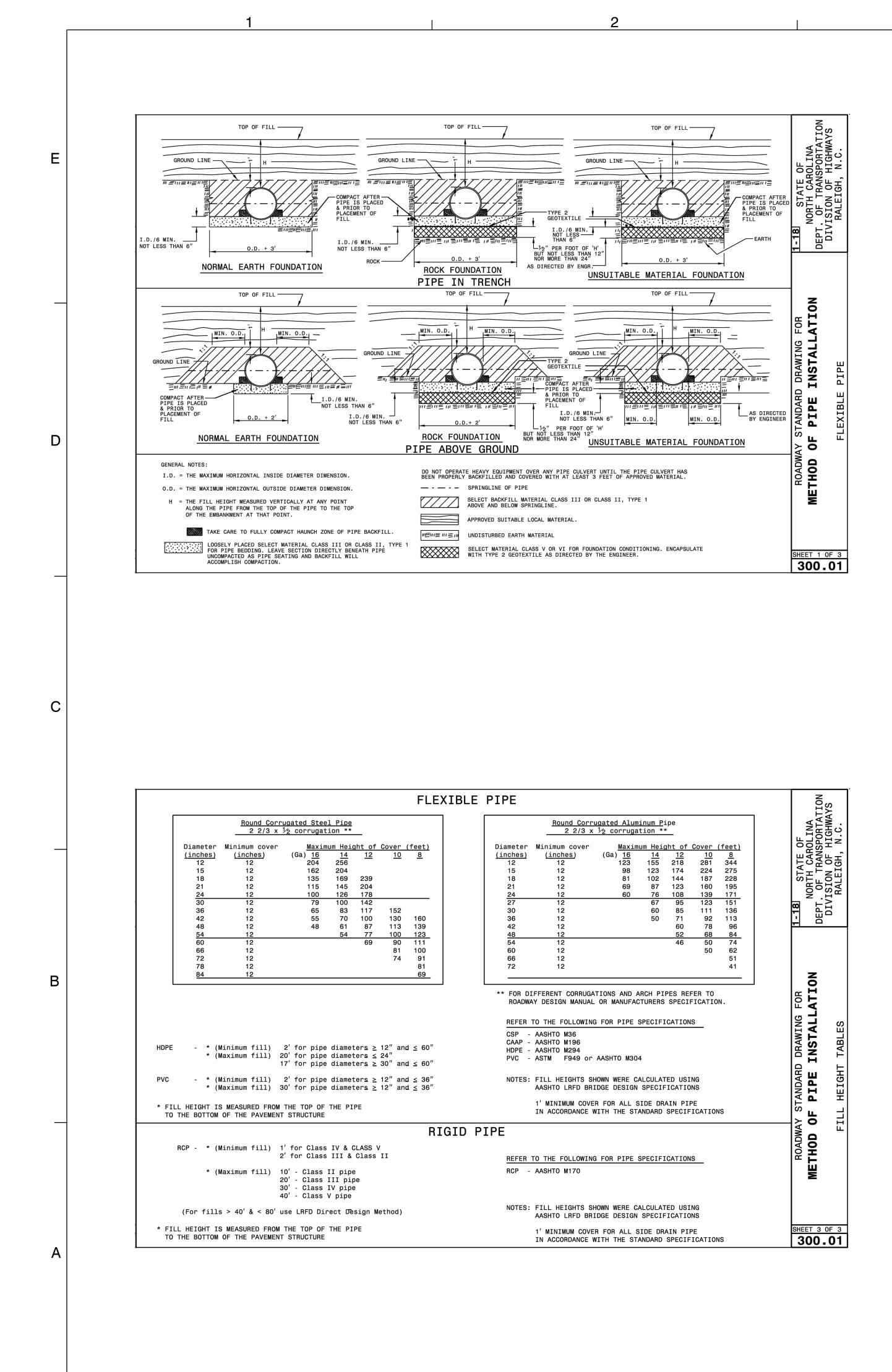
Fax: 704.509.9937 www.dewberry.com NCBELS #F-0929 NCBOLA #C-478

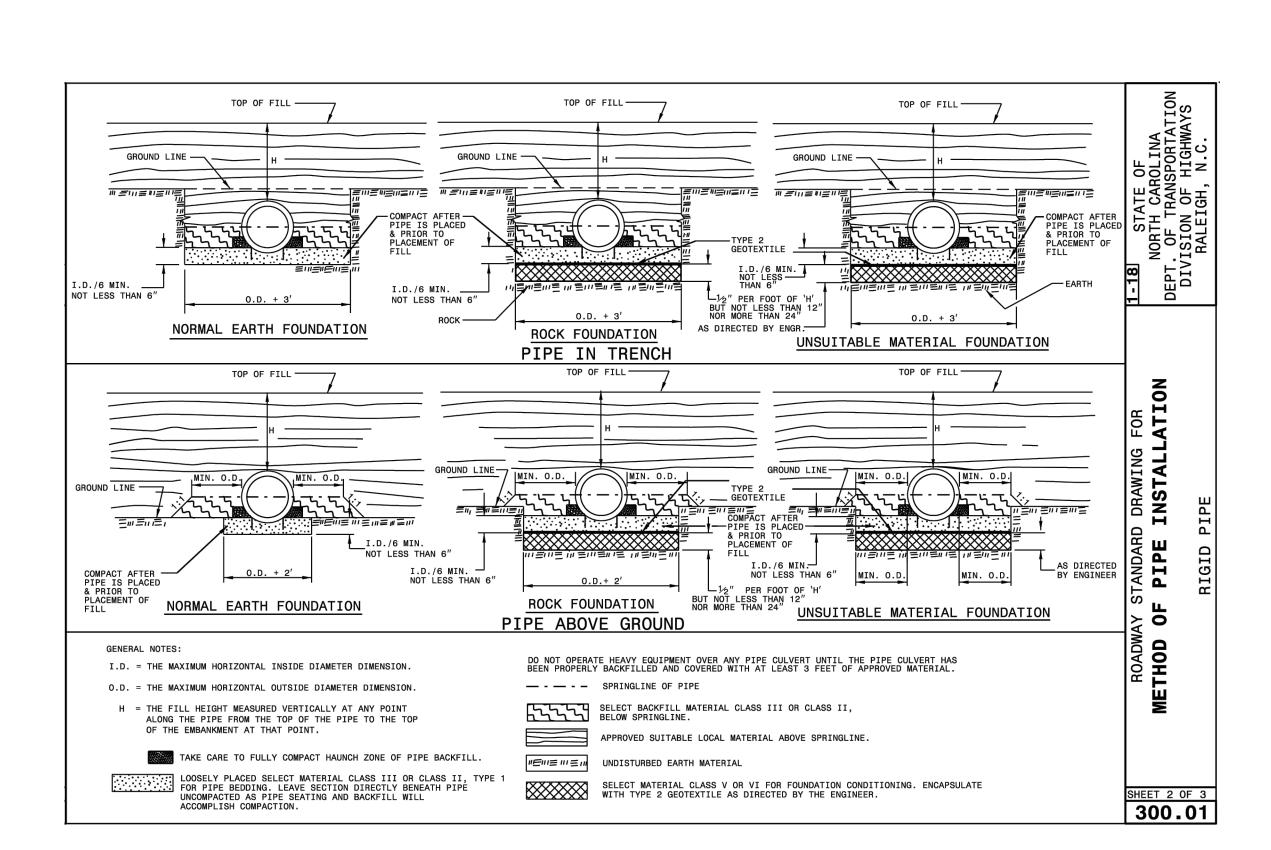
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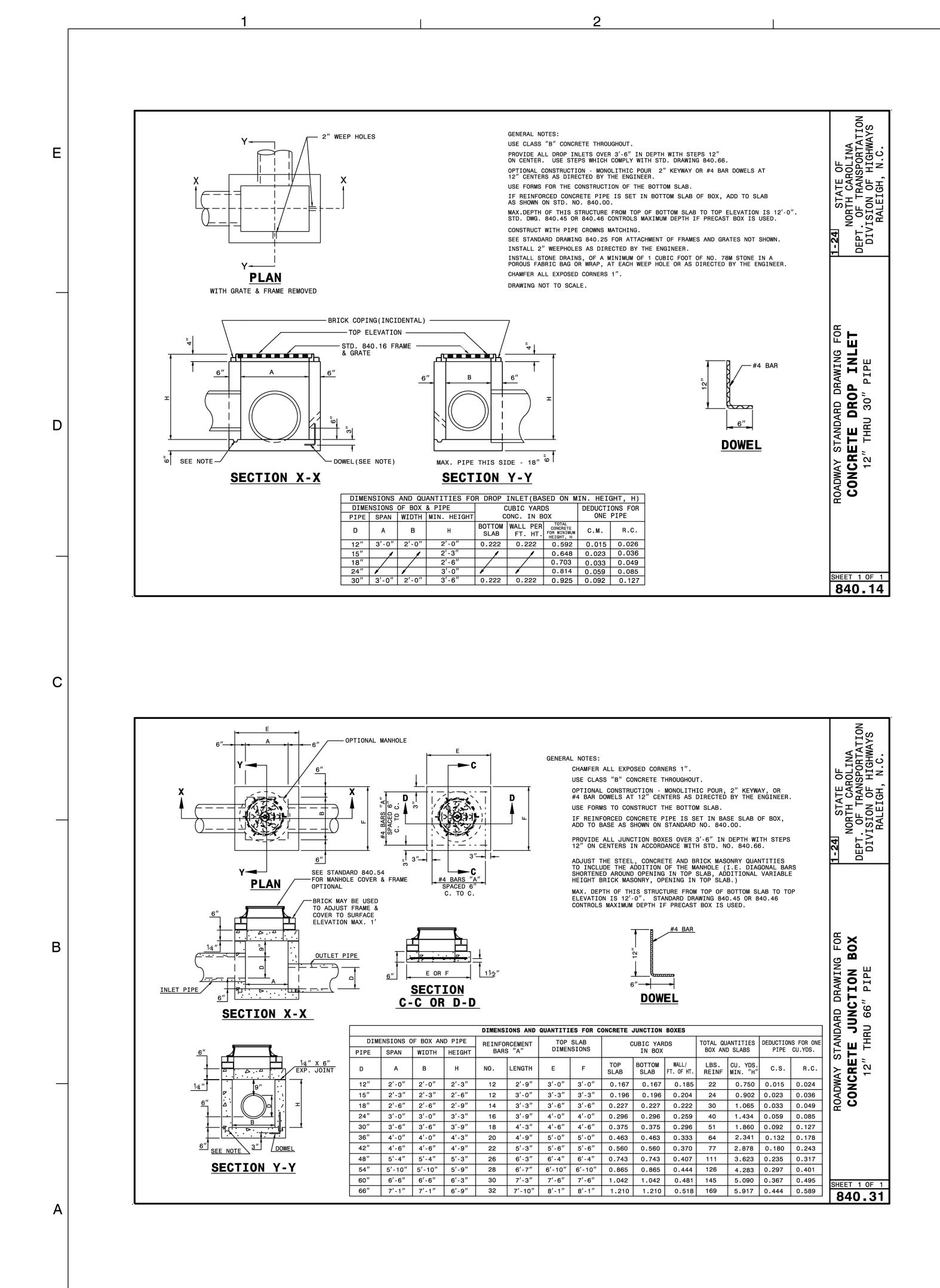


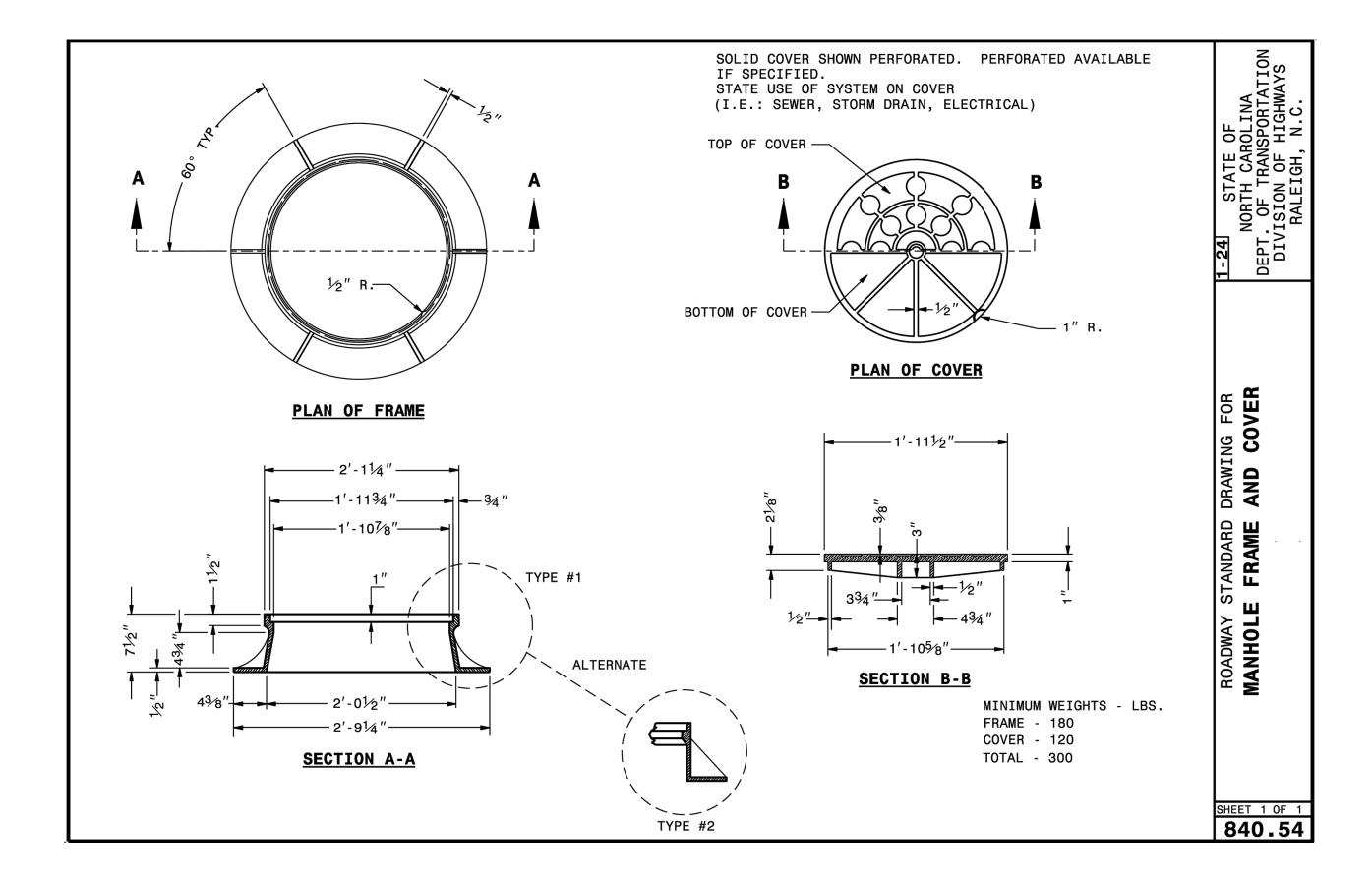


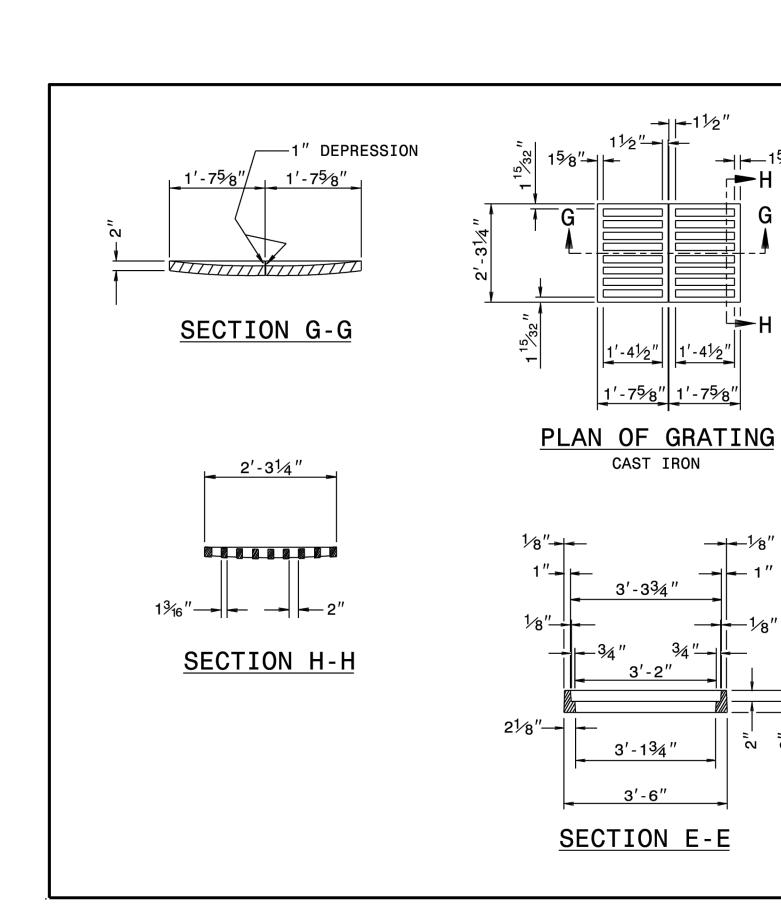
Dewberry Engineers Inc. 9300 Harris Corners Pkwy - Suite 220 Charlotte, NC 28269 Phone: 704.509.9918 Fax: 704.509.9937 www.dewberry.com NCBELS #F-0929 NCBOLA #C-478 CUMENTS SП Δ ОО RK A CONSTRUCTION · 🕰 Т 0006 MAF ¦ ወ %00 SEAL **PRELIMINARY-**DO NOT USE FOR CONSTRUCTION KEY PLAN: SCALE: REVISIONS 01/28/25 DLJ 70% REVIEW SET 11/08/24 BML 30% REVIEW SET NO. DATE BY DESCRIPTION DRAWN BY BJN APPROVED BY BMI DLJ CHECKED BY AUGUST 28, 2024 DATE TITLE STORMWATER DETAILS (SHEET 2 OF 4) DEI PROJECT NO: 50181675

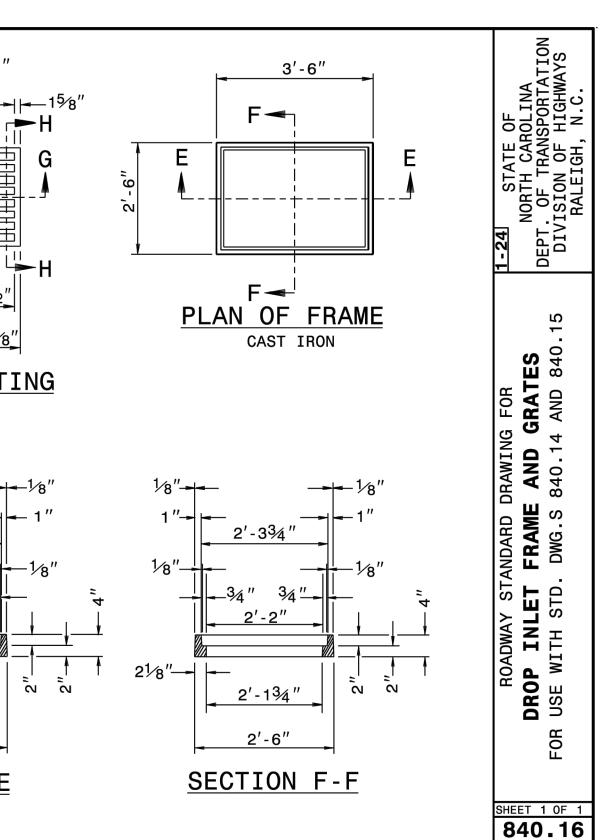
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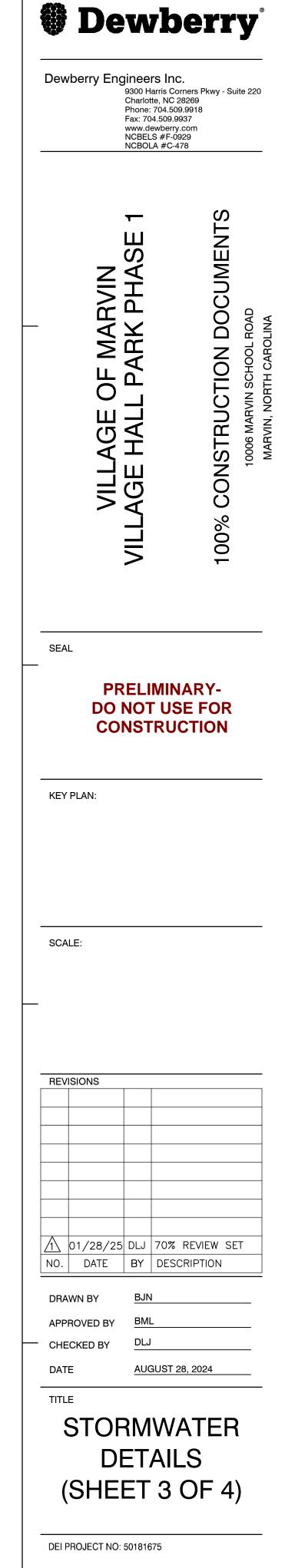
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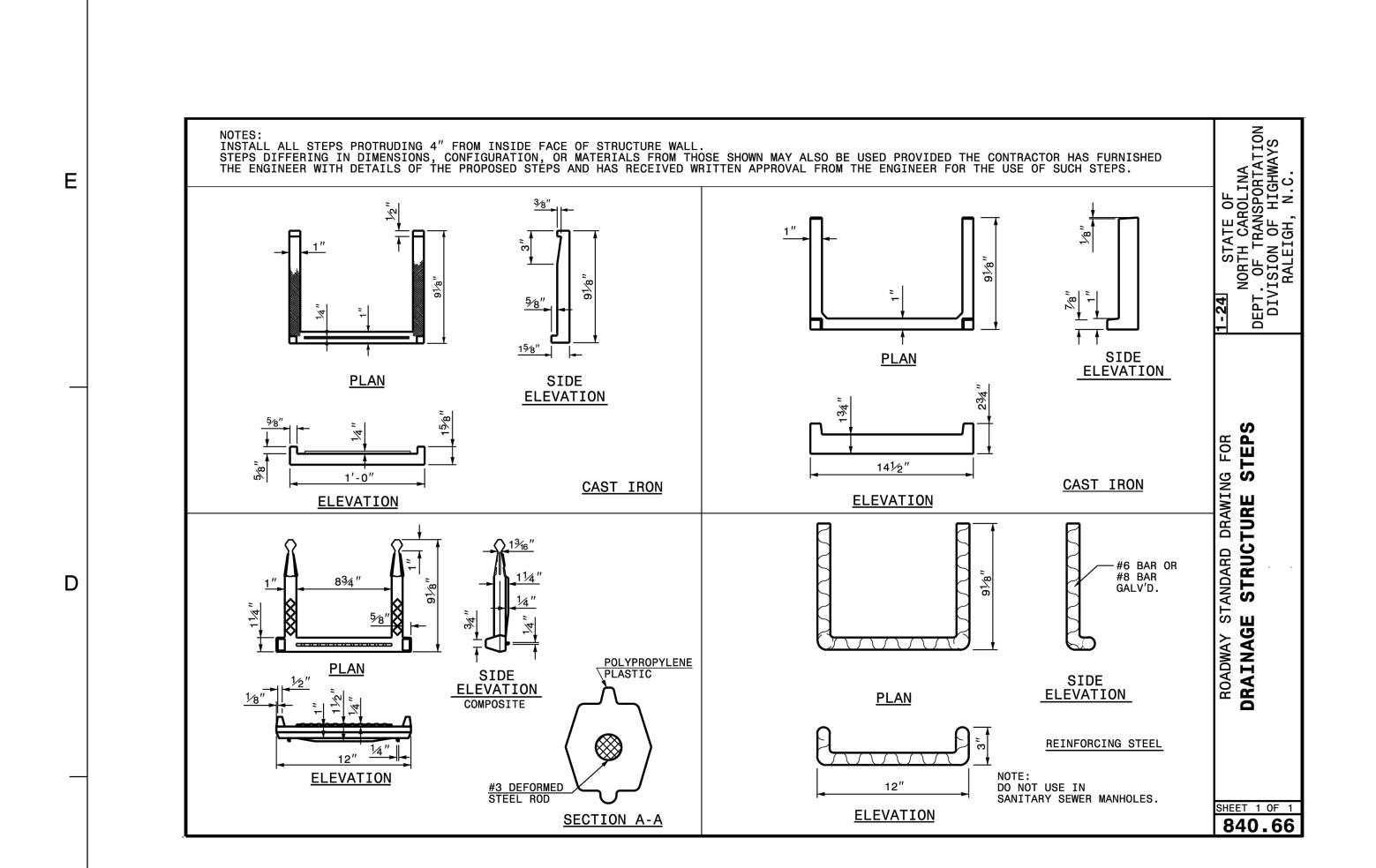


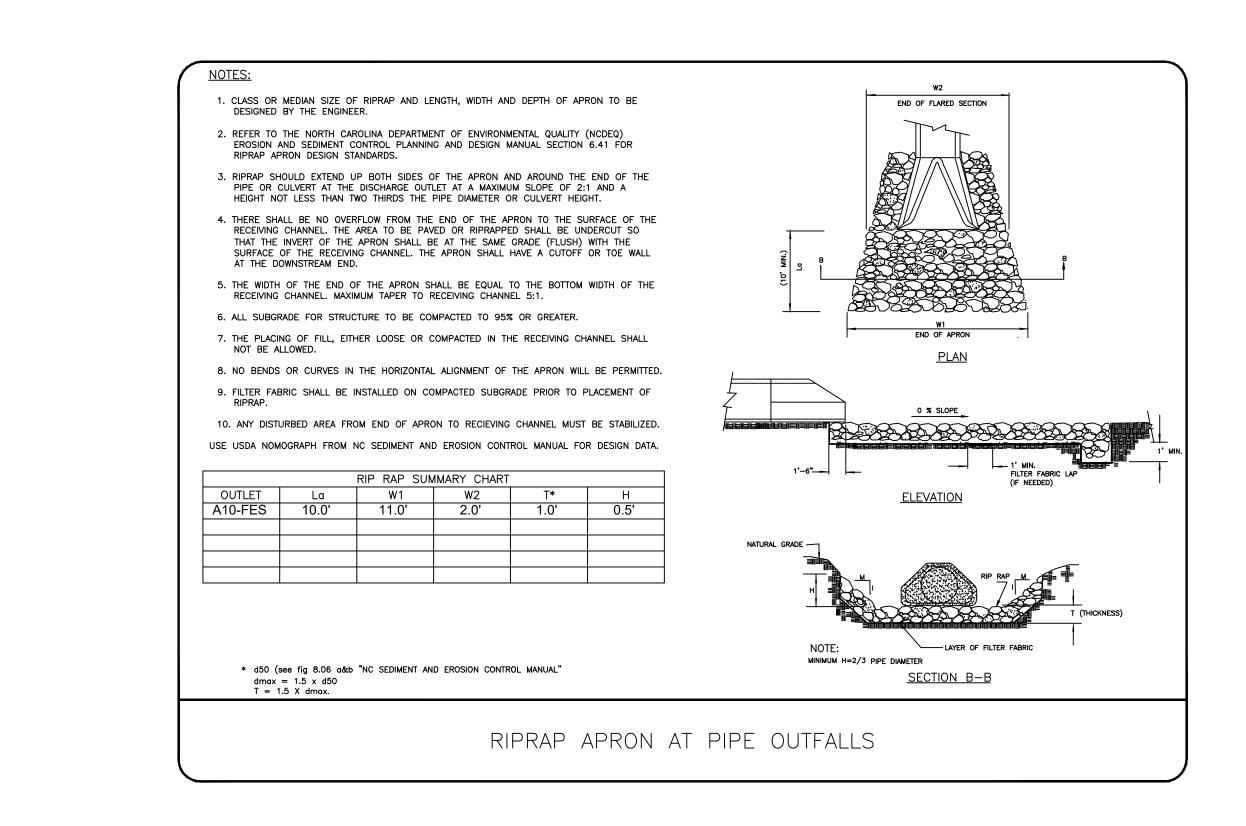




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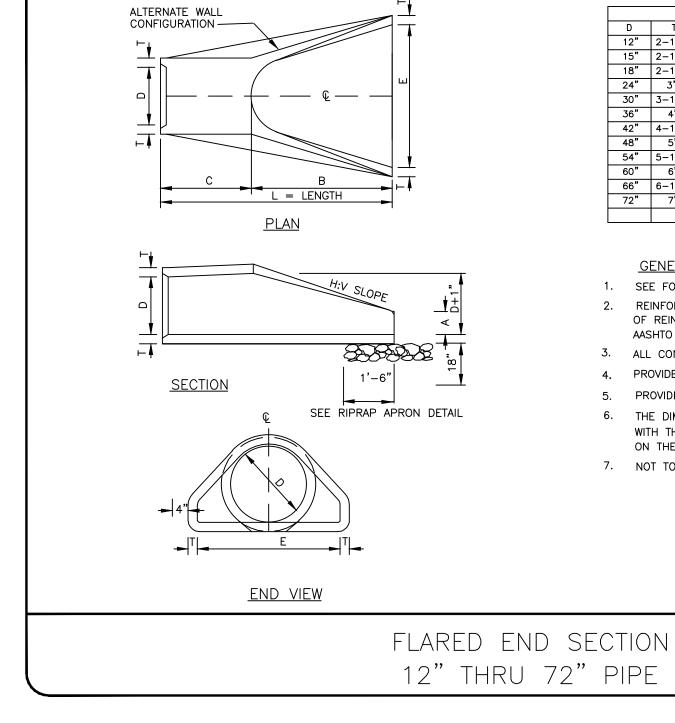




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TITLE
STORMWATER
DETAILS
(SHEET 4 OF 4)

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AUGUST 28, 2024

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Charlotte, NC 28269 Phone: 704.509.9918

Fax: 704.509.9937 www.dewberry.com NCBELS #F-0929 NCBOLA #C-478

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9300 Harris Corners Pkwy - Suite 220

CONSTRUCTION DOCUMENTS 10006 MARVIN SCHOOL ROAD MARVIN, NORTH CAROLINA

Dewberry Engineers Inc.

TABLE OF DIMENSIONS								
D T A B C E L H:V WT.								
12"	2-1/4"	4"	2'-0"	4'-1"	2'-0"	6'-1"	3:1	730
15"	2-1/4"	6"	2'-3"	3'-10"	2'-0"	6'-1"	3:1	730
18"	2-1/2"	9"	2'-3"	3'-10"	3'-0"	6'-1"	3:1	1190
24"	3"	10"	3'-8"	2'-6"	4'-0"	6'-2"	3:1	1770
30"	3-1/2"	1'-0"	4'-6"	1'-8"	5'-0"	6'-2"	3:1	2380
36"	4"	1'-3"	5'-3"	2'-11"	6'-0"	8'-2"	3:1	5320
42"	4-1/2"	1'–9"	5'–3"	2'-11"	6'-6"	8'-2"	3:1	5920
48"	5"	2'-0"	6'-0"	2'-2"	7'-0"	8'-2"	3:1	7470
54"	5-1/2"	2'-3"	5'-6"	2'-10"	7'-6"	8'-4"	3:1	8810
60"	6"	2'-6"	5'-0"	3'–3"	8'-0"	8'–3"	3:1	11180
66"	6-1/2"	3'-0"	6'-0"	2'–3"	8'-6"	8'–3"	3:1	12530
72"	7"	3'-0"	6'-6"	1'-9"	9'-0"	8'–3"	3:1	13980

1. SEE FORMER NCDOT STANDARD 310.01 FOR DETAILS. 2. REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF REINFORCED CONCRETE PIPE OF LIKE DIAMENTER PER

4. PROVIDE TONGUE OR SPIGOT JOINT AT INLET END SECTION.

5. PROVIDE GROOVE OR BELL JOINT AT OUTLET END SECTION.

7. NOT TO BE USED IN NCDOT MAINTAINED RIGHT OF WAY.

6. THE DIMENSIONS FOR END SECTIONS SHALL SUBSTANTIALLY AGREE

WITH THE TABLE. MINOR VARIATIONS WILL BE PERMITTED BASED ON THE MANUFACTURER'S STANDARD FORMS AND TEMPLATES.

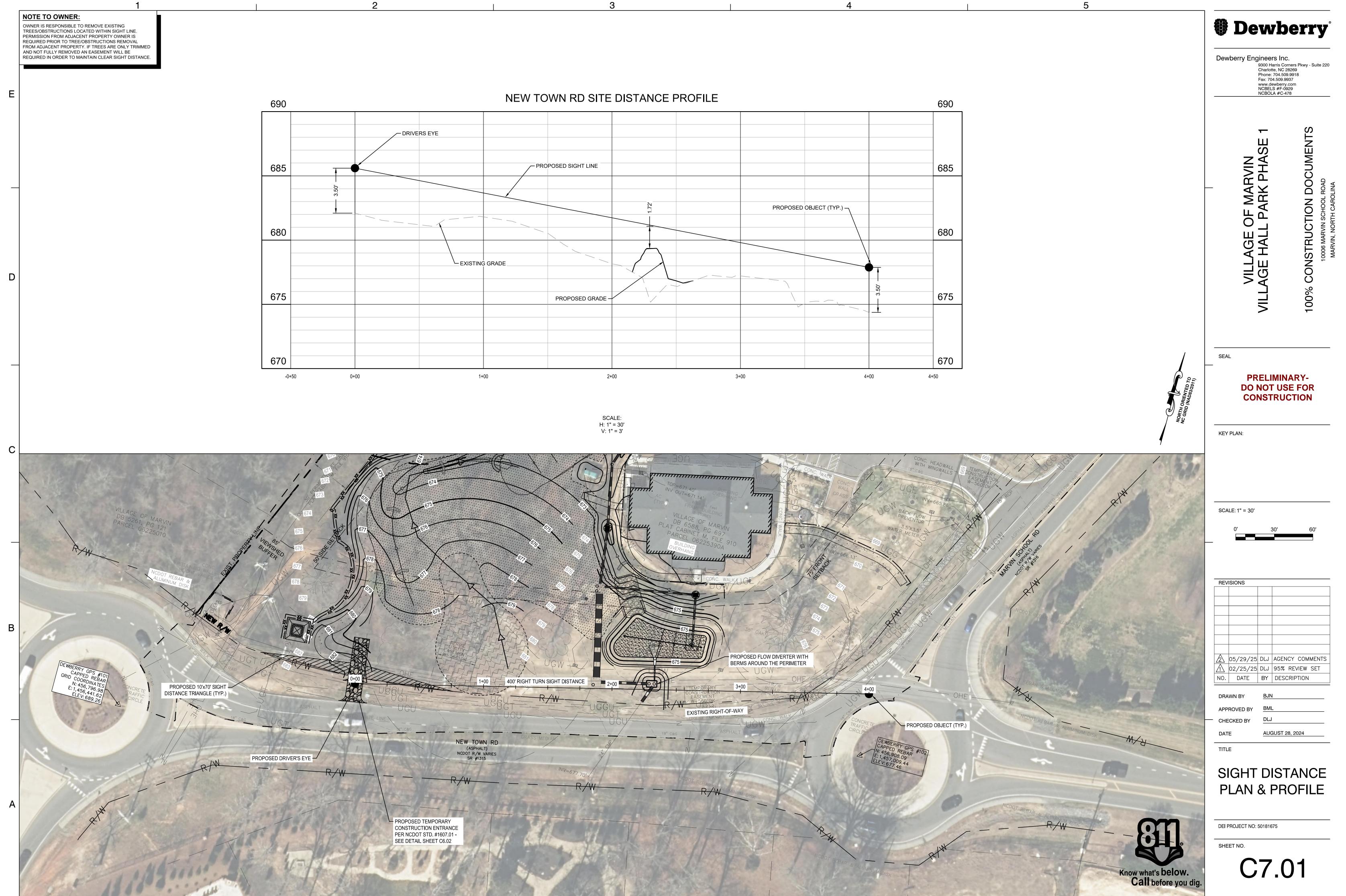
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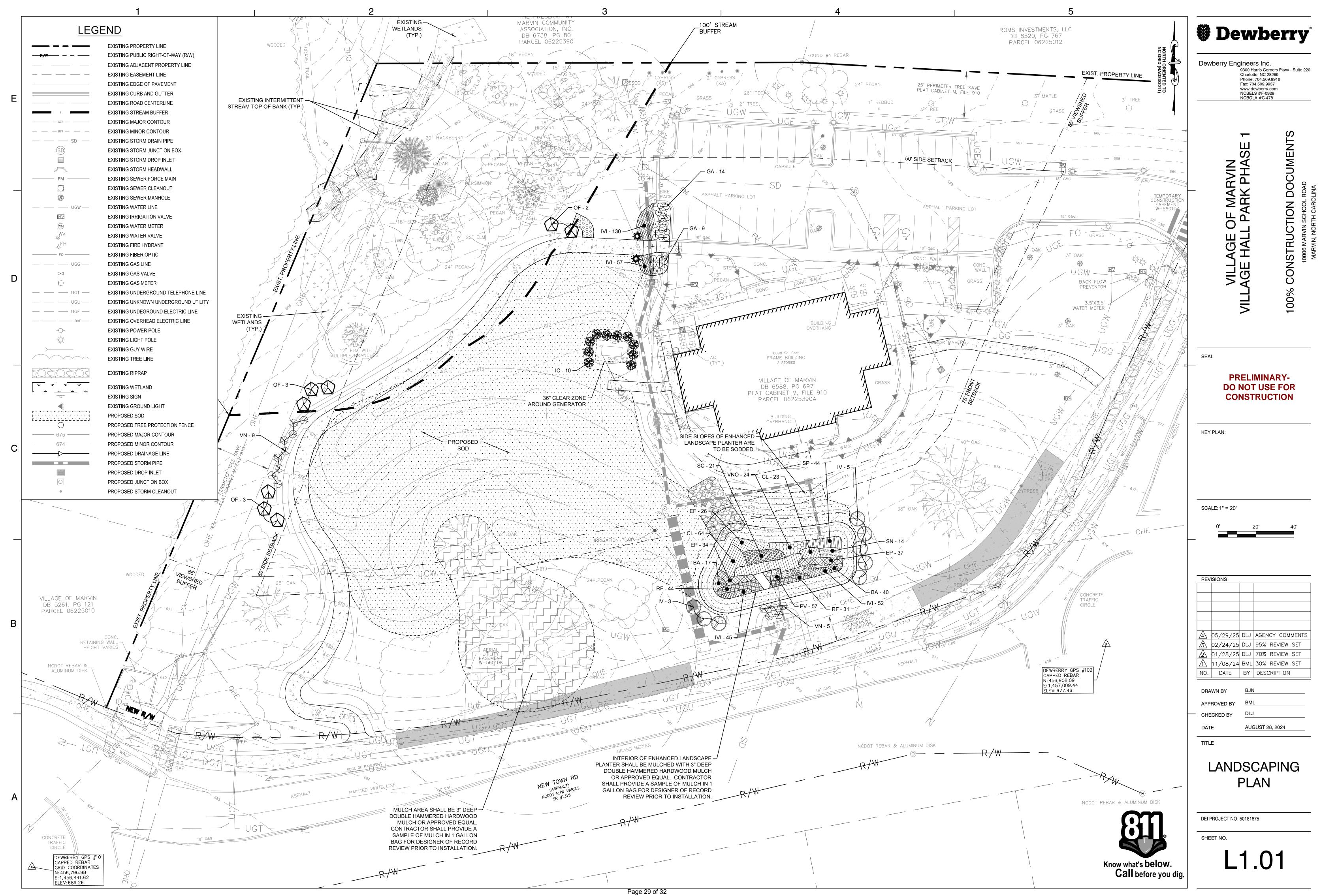
AASHTO M170, TABLE 2, WALL B.

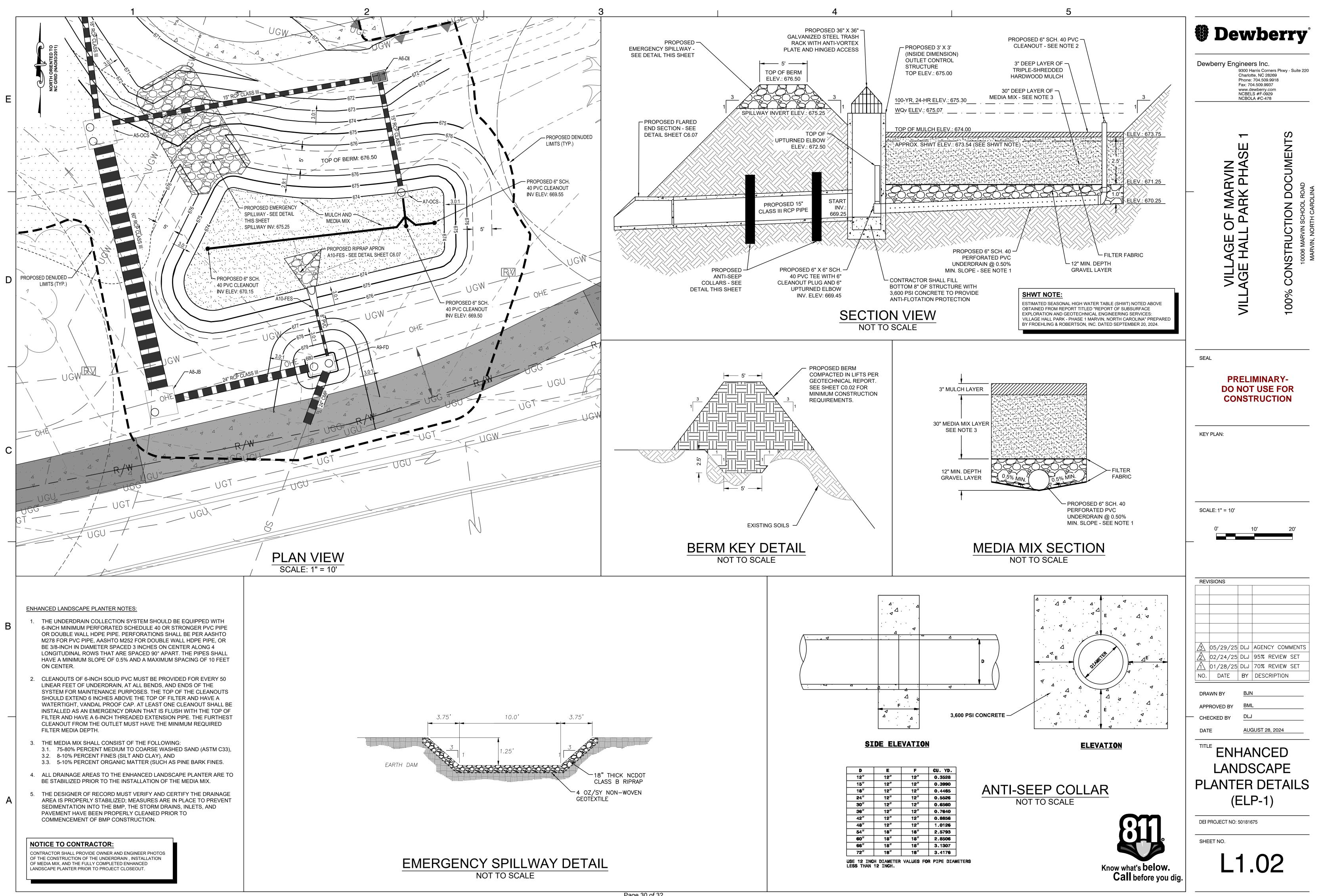
3. ALL CONCRETE TO BE 4000 P.S.I COMPRESSIVE STRENGTH.

GENERAL NOTES:

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LANDSCAPE NOTES

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- SIZE, QUALITY AND OVERALL HEALTH OF ALL PLAN MATERIAL USED SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 2. CONTRACTOR SHALL MULCH SHRUB BEDS AND TREES WITH PINE STRAW NEEDLES EXCEPT WHERE OTHERWISE NOTED ON PLANS.
- ALL AREAS OUTSIDE OF PLANTING BEDS WITHIN LIMITS OF WORK/LIMITS OF 3. DISTURBANCE TO BE PLANTED WITH FESCUE SOD OR FESCUE SEED-SEE PLAN FOR DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCE ONLY. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND PLANT SCHEDULE; PLAN SHALL PREVAIL.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL 5. CONFORM WITH UNION COUNTY AND VILLAGE OF MARVIN STANDARDS.
- 6. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLAN MATERIALS.
- COORDINATE LANDSCAPE INSTALLATION WITH ANY LIGHTING/IRRIGATION 7. CONSTRUCTION.
- 8. NO TREES TO BE PLANTED WITHIN 15' OF UTILITIES OR LIGHT POLE. LARGE MATURING TREES MUST BE A MINIMUM 25' FROM OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. COORDINATE PLANTINGS WITH THE PROPER POWER COMPANY IF NECESSARY. IF TREES CONFLICT WITH POWER LINES OR SIGNS NOTIFY LANDSCAPE ARCHITECT TO RESOLVE BEFORE PLANTING.
- WITHIN PLANT BED AREAS CONTRACTOR IS RESPONSIBLE FOR THE VIABILITY OF 9. ALL PLANT MATERIAL FOR A MIN. PERIOD OF 90 DAYS AFTER ACCEPTANCE FROM OWNER BUT MAY ALSO BE BONDED FOR WARRANTEE BY LOCAL ORDINANCE OR DEVELOPMENT CONDITIONS IN THE EVENT THAT LANDSCAPE MAINTENANCE IS PROVIDED BY ANOTHER CONTRACTOR, 90 DAY WARRANTY SHALL BE TRANSFERABLE TO MAINTENANCE CONTRACTOR.
- 10. CONTRACTOR SHALL REMOVE ALL LUMPS OF CLAY, STONES OVER 1" IN DIAMETER AND ALL COMPACTED SOIL OR CONSTRUCTION DEBRIS INCLUDING PAVEMENT, GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND TREE PLANTING AREAS.
- 11. CONTRACTOR SHALL REPAIR (RESEED OR SOD) ANY LAWN AREAS DAMAGED DUE TO PLANT MATERIAL INSTALLATION.
- 12. CONTRACTOR SHALL COORDINATE ALL PLANTING AND IRRIGATION IN ANY RIGHT-OF-WAY WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LOCAL TRANSPORTATION DEPARTMENT AND RECEIVE ANY NECESSARY ENCROACHMENT AGREEMENTS.
- 13. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT ALL UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- 14. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, AND MAINTENANCE OF TRAFFIC AS NECESSARY TO INSURE PUBLIC SAFETY.
- 15. ALL STRAPPING AND TOP ²/₃ OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACK FILLING PLANTING PITS. REMOVE TOP $\frac{1}{3}$ OF BURLAP FROM BALL.
- 16. PROVIDE AT LEAST 150 SQUARE FEET OF MINIMUM PLANTING AREA PER TREE WITH AMENDED ON SITE SOIL OR SOIL MIX, OR AS SPECIFIED IN THE UNION COUNTY/VILLAGE OF MARVIN GUIDELINES AND SPECIFICATIONS ON TREE PLANTING TO A DEPTH OF 18" INCHES.
- 17. FIELD ADJUSTMENTS TO PLAN MATERIAL AS NECESSARY BY OWNERS.
- 18. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL SPECIFICATIONS AND INSTALLATION REQUIREMENTS OF IRRIGATION, LIGHTING, AND VINYL FENCING TO ENSURE THAT PRODUCTS ARE INSTALLED PROPERLY AND PER MANUFACTURER REQUIREMENTS AND LOCAL AGENCY CODES & RESTRICTIONS.
- 19. DEWBERRY ENGINEERS INC. IS NOT RESPONSIBLE FOR INSTALLATION OR DESIGN OF LIGHTING, FENCING, OR IRRIGATION. THE INSTALLATION REQUIREMENTS AND DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 20. CONTRACTOR RESPONSIBLE FOR LOCATING SIGHT DISTANCE AND SIGHT TRIANGLES PRIOR TO INSTALLATION OF PLANT MATERIALS, MONUMENTS, SIGNS, LIGHTING, AND/OR FENCES. CONTRACTOR SHALL INSTALL PLANT MATERIALS, MONUMENTS, SIGNS, LIGHTING, AND/OR FENCES OUTSIDE OF SIGHT TRIANGLES AND/OR SIGHT DISTANCE LINES.
- 21. WATER DISTRIBUTION IS TO BE LOCATED A MINIMUM OF 2' FROM BACK OF SIDEWALK WITH A MINIMUM 36" OF COVER.
- 22. CANOPY TREES SHALL BE MINIMUM OF 3" CALIPER AND HAVE A MINIMUM HEIGHT OF 10 FT FROM THE GROUND SURFACE AT THE TIME OF PLANTING. UNDERSTORY TREES SHALL BE A MINIMUM OF 2" CALIPER AND HAVE A MINIMUM HEIGHT OF 8 FT FROM THE GROUND SURFACE AT THE TIME OF PLANTING. EVERGREEN TREES SHALL BE A MINIMUM OF 3" CALIPER AND HAVE A MINIMUM OF 6 FT FROM THE GROUND SURFACE AT THE TIME OF PLANTING. EVERGREEN TREES SHALL BE A MINIMUM OF 3" CALIPER AND HAVE A MINIMUM OF 6 FT FROM THE GROUND SURFACE AT THE TIME OF PLANTING. EVERGREEN SHRUBS SHALL BE A MINIMUM OF 2" CALIPER AND HAVE A MINIMUM HEIGHT OF 3 FT FROM THE GROUND SURFACE AT THE TIME OF PLANTING.

SOIL AMENDMENTS

ALL PLANTING BEDS/PLANTING PITS TO BE TILLED AT A MINIMUM OF 1'-0" DEPTH AND RECEIVE AN AMENDED TOPSOIL MIXTURE APPROPRIATE FOR GOOD PLANT GROWTH AND ADEQUATE DRAINAGE. SOIL MIXTURE SHALL BE COMPOSED OF A MINIMUM 20% GOOD GARDEN SOIL (3 ¹/₂ PARTS GOOD GARDEN SOIL, ¹/₂ PART COMPOST OR ORGANIC MATTER, 1 POUND OF LIME PER CUBIC FOOT) OR RECOMMENDED SOIL AMENDMENTS AND SOIL COMPOSITE BASED UPON RECOMMENDATION FROM SOIL TESTS. A MINIMUM OF ONE SOIL TEST IS REQUIRED FOR THIS SITE.

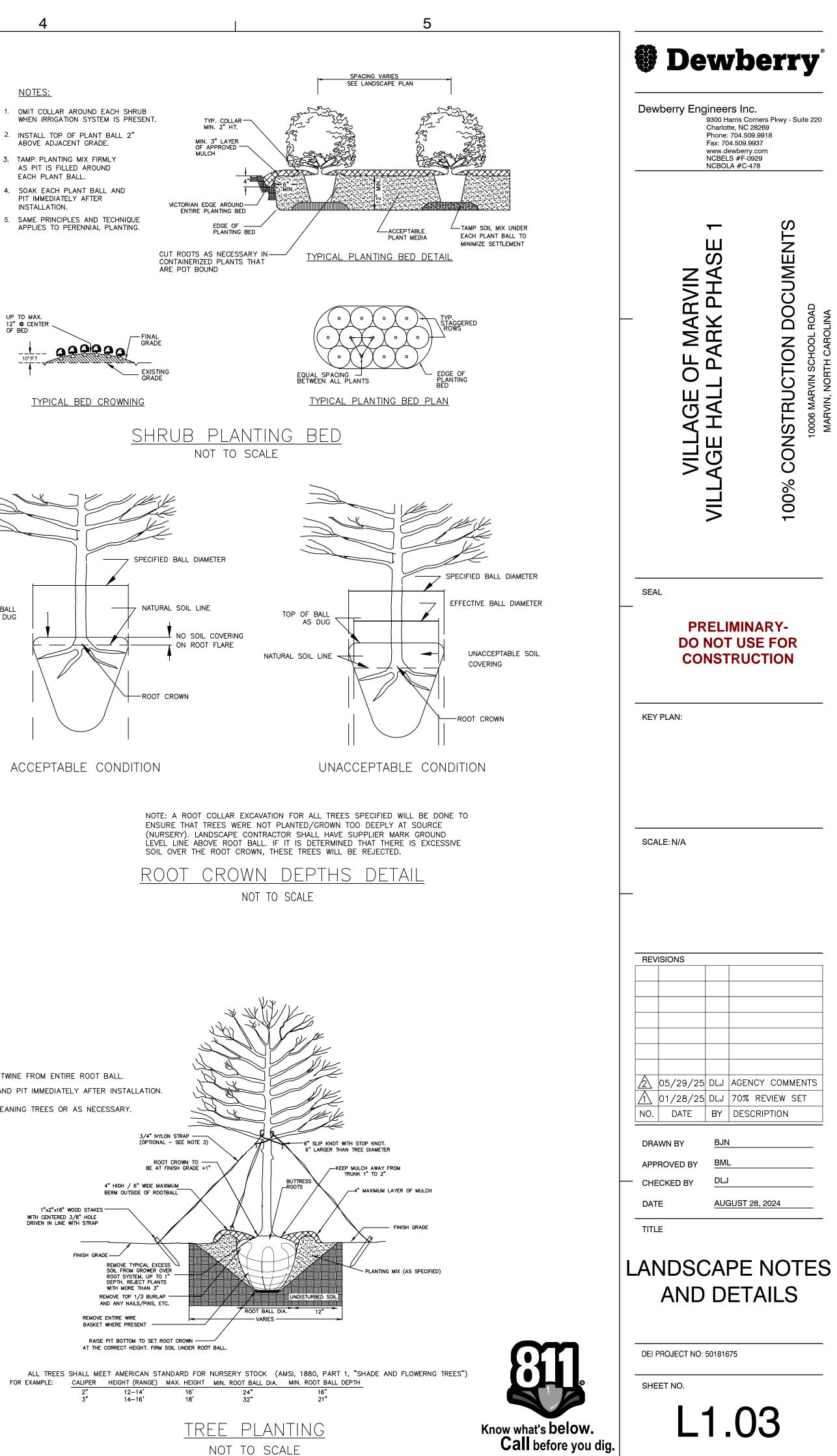
PLANT SC	CHEDULE							
ABBR	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT/SPREAD	CALIPER	SPACING	REMARKS
SHRUBS								
GA	23	RHODODENDRON X 'GUMPO PINK'	GUMPO PINK AZALEA	3 GAL.	18" HT	N/A	SEE PLAN	FULL MATCHED SPECIMEN
IC	10	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	3 GAL.	18" HT	N/A	SEE PLAN	FULL MATCHED SPECIMEN
IV	8	ILEX VOMITORIA	YAUPON HOLLY	3 GAL.	18" HT	N/A	SEE PLAN	FULL MATCHED SPECIMEN
OF	8	OSMANTHUS FRAGRANS	TEA OLIVE	B&B	6' HT	N/A	SEE PLAN	FULL MATCHED SPECIMEN
VN	14	VIBURNUM NUDUM	POSSUMHAW VIBURNUM	1 GAL.	18" HT	N/A	SEE PLAN	FULL MATCHED SPECIMEN
GROUND	COVERS				1			
BA	57	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	1 GAL.	24" HT	N/A	18" O.C.	FULL MATCHED SPECIMEN
CL	87	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	8" CONT.		N/A	18" O.C.	FULL MATCHED SPECIMEN
EP	71	ECHINACEA PURPUREA	PURPLE CONEFLOWER	8" CONT.		N/A	18" O.C.	FULL MATCHED SPECIMEN
EF	26	EUTROCHIUM FISTULOSUM	HOLLOW JOE-PYE WEED	1 GAL.		N/A	24" O.C.	FULL MATCHED SPECIMEN
IVI	284	IRIS VIRGINICA	SOUTHERN BLUE FLAG	8" CONT.		N/A	12" O.C.	FULL MATCHED SPECIMEN
PV	57	PANICUM VIRGATUM	SWITCHGRASS	1 GAL.	36" HT	N/A	24" O.C.	FULL MATCHED SPECIMEN
RF	75	RUDBECKIA FULGIDA	BLACK EYED SUSAN	8" CONT.	15" HT	N/A	18" O.C.	FULL MATCHED SPECIMEN
SP	44	SILPHIUM PERFOLIATUM	CUP PLANT	1 GAL.		N/A	18" O.C.	FULL MATCHED SPECIMEN
SC	21	SOLIDAGO CANADENSIS	GOLDENROD	1 GAL.		N/A	30" O.C.	FULL MATCHED SPECIMEN
SN	14	SORGHASTRUM NUTANS	INDIAN GRASS	1 GAL.		N/A	24" O.C.	FULL MATCHED SPECIMEN
VNO	24	VERNONIA NOVEBORACENSIS	COMMON IRONWEED	1 GAL.		N/A	24" O.C.	FULL MATCHED SPECIMEN

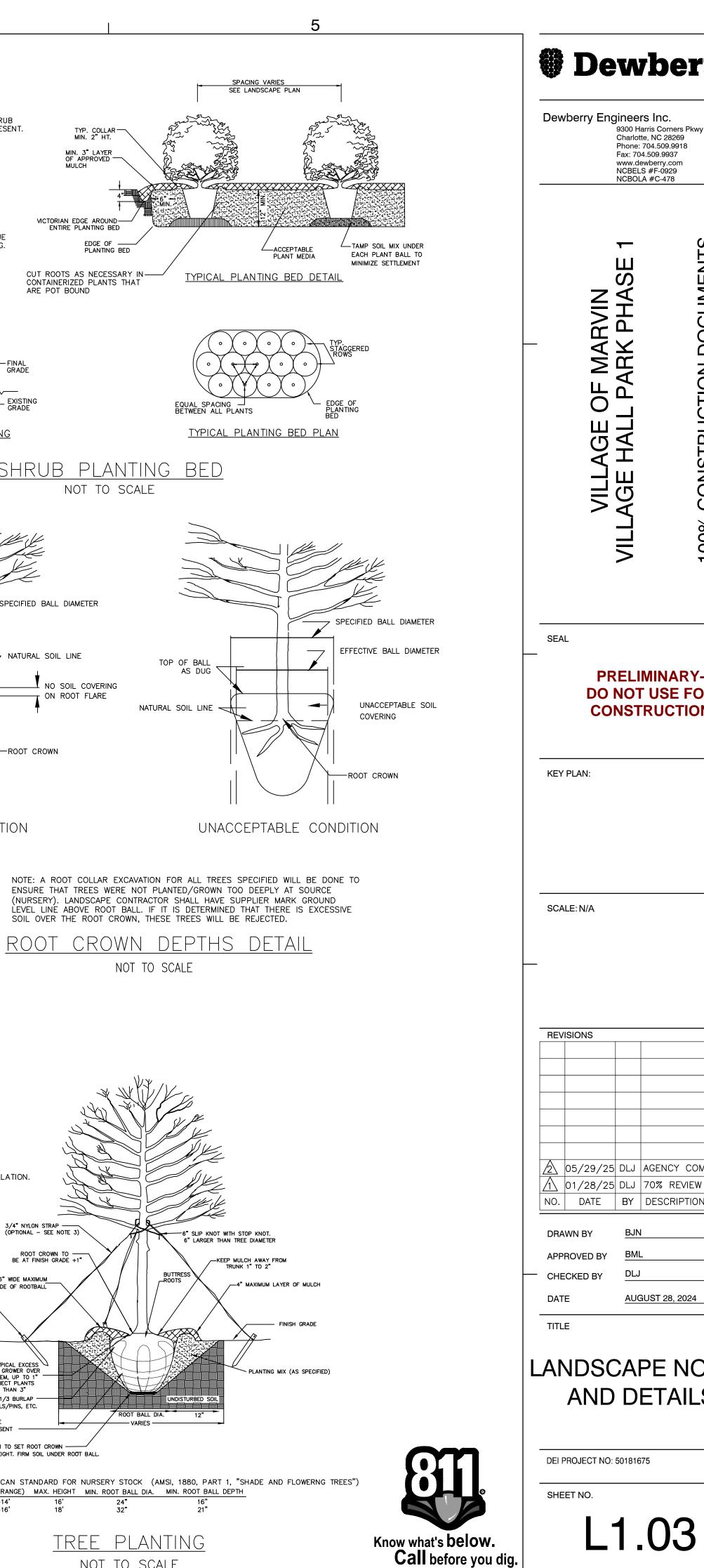
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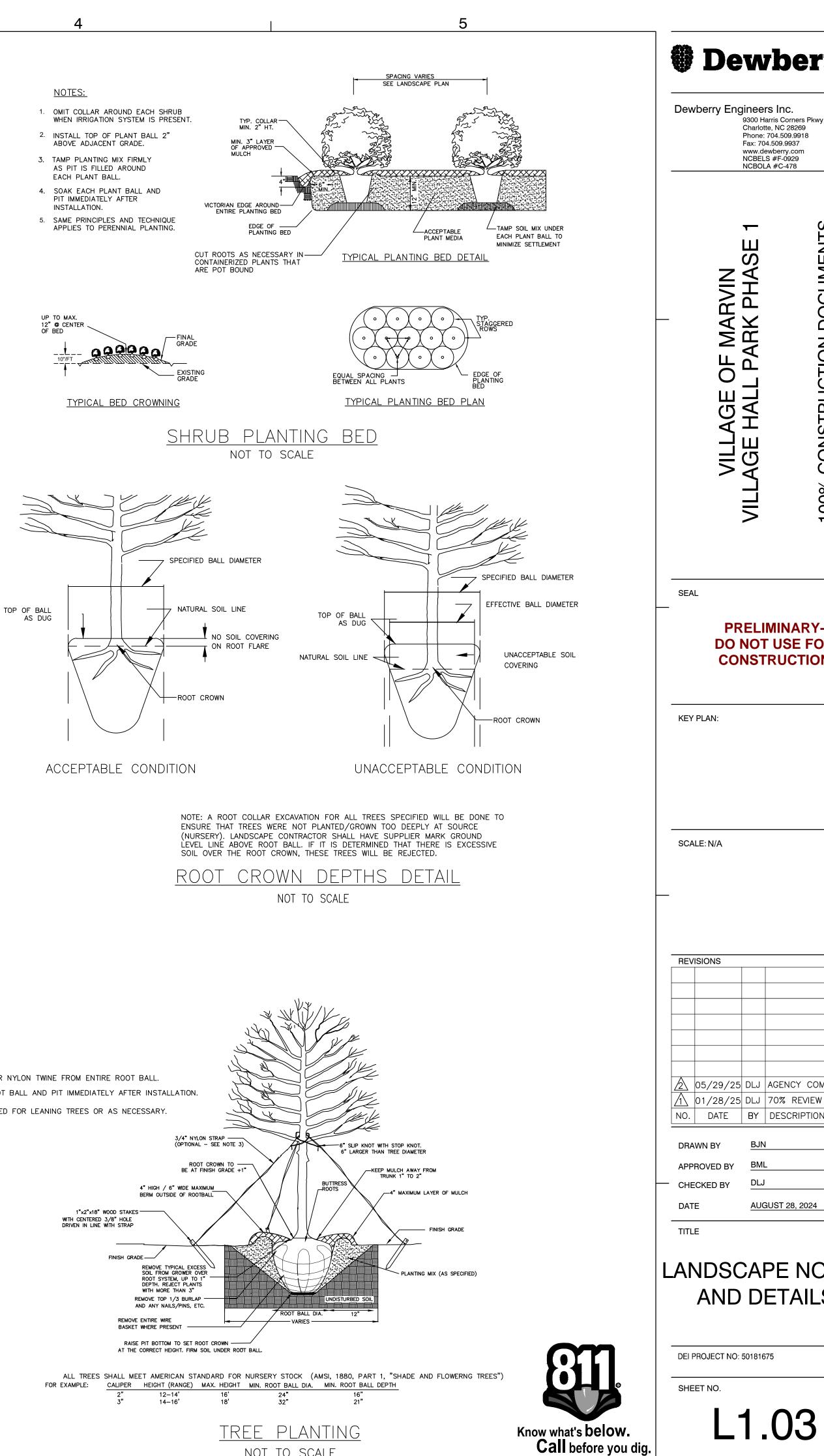


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NOTES:

- 1. REMOVE WIRE OR NYLON TWINE FROM ENTIRE ROOT BALL.
- 2. SOAK EACH ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.
- 3. STAKING REQUIRED FOR LEANING TREES OR AS NECESSARY.



	PR&G ACTION ITEM LIST									
Date	Item	Person Responsible	Status							
	2024									
7/9/2024	Light Pollution	Vice-Chair Culp will send Mr. Yow the light pollution information to share on the Village's website and to send to the HOAs.	Culp & Yow	In Progress						
	2025									
4/1/2025	Survey	Mr. Yow will present the PR&G Board's survey recommendations to the Council.	Yow	Complete						
4/1/2025	Draft Plaque Inscription	Councilman Baresich will draft an inscription for a memorial plaque for former Mayor Mike Cognac.	Baresich	In Progress						
4/1/2025	Memorial Options	PR&G Board Members will research memorial options of former Mayor Mike Cognac (plaques, benches, trees, etc).	PR&G Board	In Progress						
4/1/2025	Golf Cart Ordinance	Mr. Nestor will review the Village's Golf Cart Ordinance for inconsistencies.	Nestor	In Progress						